



CITY OF SACRAMENTO

CITY PLANNING DEPARTMENT

725 J STREET

SACRAMENTO, CALIF. 95814
TELEPHONE (916) 449-5604

MARTY VAN DUYN
PLANNING DIRECTOR

December 1, 1981

City Council
Sacramento, California

Honorable Members in Session:

- SUBJECT:**
1. Rezone 0.3+ acre from R-1 to R-1A;
 2. Tentative Map to divide 0.3+ acre into two halfplex lots; and
 3. Subdivision Modification to waive water and sewer services.

LOCATION: Northwest corner of Sand River Court and Greenhaven Drive

SUMMARY

This item is presented at this time for approval of publication of title pursuant to City Charter, Section 38.

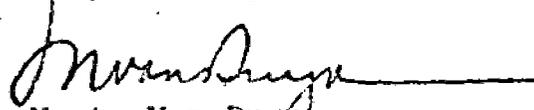
BACKGROUND

Prior to publication of an item in a local paper to meet legal advertising requirements, the City Council must first pass the item for publication. The City Clerk then transmits the title of the item to the paper for publication and for advertising the meeting date.

RECOMMENDATION

It is recommended that the item be passed for publication of title and continued to December 15, 1981.

Respectfully submitted,



Marty Van Duyn
Planning Director

FOR CITY COUNCIL INFORMATION
WALTER J. SLIPE
CITY MANAGER

PASSED FOR
PUBLICATION
& CONTINUED
TO 12-15-81

MVD:lo
Attachments
P-9548

December 8, 1981
District 8

ORDINANCE NO.

ADOPTED BY THE SACRAMENTO CITY COUNCIL ON DATE OF

DECEMBER 8, 1981

ORDINANCE AMENDING THE DISTRICTS ESTABLISHED BY THE COMPREHENSIVE ZONING ORDINANCE NO. 2550, FOURTH SERIES, AS AMENDED, BY REMOVING PROPERTY LOCATED AT NORTHWEST CORNER OF SAND RIVER CT: & GREENHAVEN DR.

FROM THE R-1, SINGLE FAMILY ZONE

AND PLACING SAME IN THE R-1A, TOWNHOUSE

ZONE (FILE NO. P- 9548) (APN: 031-480-11)

BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO:

SECTION 1.

The territory described in the attached exhibit(s) which is in the R-1, Single Family zone(s), established by Ordinance No. 2550, Fourth Series, as amended, is hereby removed from said zone(s) and placed in the R-1A, Townhouse zone(s).

SECTION 2.

The City Clerk of the City of Sacramento is hereby directed to amend the maps which are a part of said Ordinance No. 2550, Fourth Series, to conform to the provisions of this ordinance.

SECTION 3.

Rezoning of the property described in the attached exhibit(s) by the adoption of this ordinance shall be deemed to be in compliance with the procedures for the rezoning of property prescribed in Ordinance No. 2550, Fourth Series, as said procedures have been affected by recent court decisions.

PASSED FOR PUBLICATION:

PASSED:

EFFECTIVE:

MAYOR

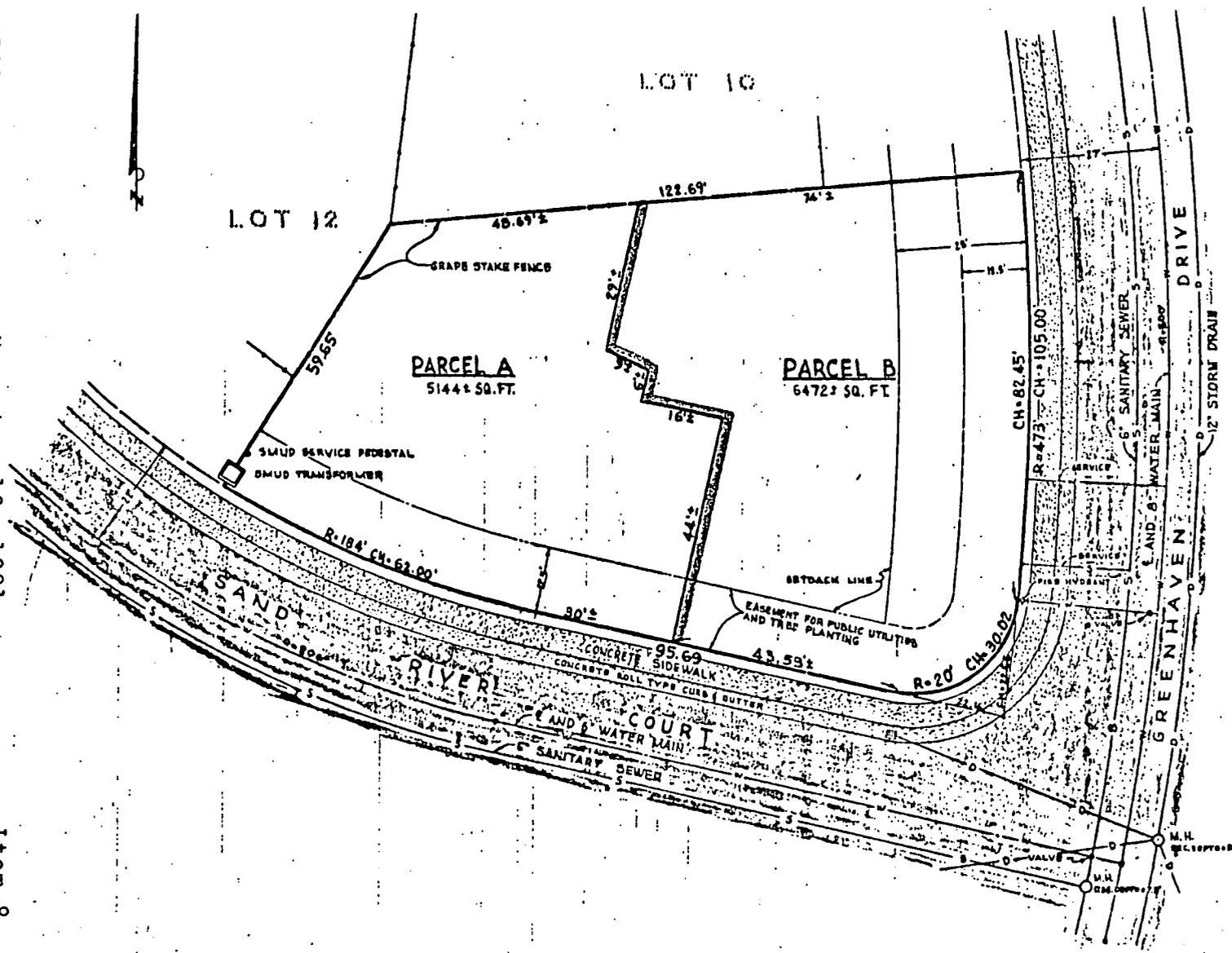
ATTEST:

CITY CLERK

P-9548

November 12, 1981

Item 8



**TENTATIVE PARCEL MAP OF
 LOT II PARKWAY OAKS UNIT I
 CITY OF SACRAMENTO, CALIFORNIA
 AUGUST, 1981** SCALE: 1"=10'

RECORD OWNER & SUBDIVIDER

MGM JOINT VENTURE
 2048 HALLMARK DRIVE, SUITE 4
 SACRAMENTO, CALIFORNIA 95814

SURVEYOR

TIMOTHY B. TRAINOR, L.S. 8487
 804 - 21ST STREET
 SACRAMENTO, CALIFORNIA 95818
 916-481-7733

ASSESSOR'S PARCEL NUMBER

081-49-11

EXISTING ZONING & USE

ZONED R-1 & VACANT

PROPOSED ZONING & USE

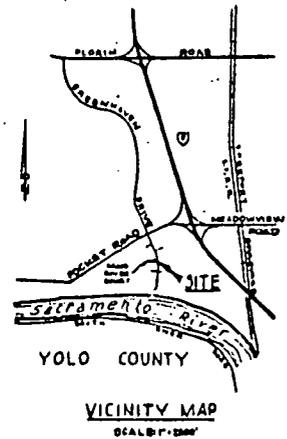
R-1A ZONE AND HALF PLOT CONSTRUCTION

PROPOSED SEWAGE DISPOSAL

EXISTING PUBLIC SEWERS

PROPOSED WATER SUPPLY

EXISTING PUBLIC WATER MAINS



P 9548