

CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

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|----------------------------|--|--------------------|-----------|
| APPLICANT | Richard A. Galvez, 3988 Sherman Way, Sacramento, CA 95817 | | |
| OWNER | Kingdom Hall of Jehovah's Witnesses, 3965 12th Ave. Sacramento, CA 95820 | | |
| PLANS BY | Book and Flannery, 75 Wellington Ave. Daly City, CA 94014 | | |
| FILING DATE | 12-14-89 | ENVIR. DET. | Neg. Dec. |
| ASSESSOR'S PCL. NO. | 014-0231-042 | REPORT BY | CAS:df |

APPLICATION:

- A. Negative Declaration
- B. Special Permit to construct a 4,485 square foot, 174 seat church on 0.87+ developed acres in the Standard Single Family Residential (R-1) zone.

LOCATION: 3965 12th Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to demolish an existing church and construct a new 4,485 square foot, 174 seat church.

PROJECT INFORMATION:

| | |
|---|--|
| General Plan Designation: | Low Density Residential (4-15 du/na) |
| 1985 Oak Park Redevelopment Plan Designation: | Residential |
| Existing Zoning of Site: | Standard Single Family Residential (R-1) |
| Existing Land Use of Site: | Church |

| Surrounding Land Use and Zoning: | Setbacks | Required | Provided |
|-------------------------------------|-------------|----------|----------|
| North: City Park, R-2B | Front: | 25' | 25' |
| South: Single Family, R-1 | Side(east): | 5' | 50' |
| East: Single Family and vacant, R-1 | Side(west): | 5' | 50' |
| West: Single Family, R-1 | Rear: | 15' | 123' |

| | |
|------------------------------|------------------------------|
| Number of Fixed Seats: | 174 seats |
| Parking Required: | 29 spaces (1 space: 6 seats) |
| Parking Provided: | 54 spaces |
| Property Dimensions: | 167' x 229' |
| Property Area: | 0.8+ acres |
| Square Footage of Building: | 4,485 square foot |
| Height of Building: | 24 feet, 1 story |
| Topography: | Flat |
| Street Improvements: | Existing |
| Utilities: | Existing |
| Exterior Building Materials: | Brick and stucco |
| Roof Material: | Composition shingles |

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BACKGROUND INFORMATION: On April 9, 1974, the Planning Commission approved a Special Permit to add 26 parking spaces to an existing church (P5898). At that time, staff required a 25 foot landscaped setback area. The applicant has complied with this requirement. At that time, the Zoning Ordinance did not require a six foot masonry wall for a church use in a residential zone.

APPLC. NO. P90-029 **MEETING DATE** March 8, 1990 **ITEM NO.** 3

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On August 14, 1986, the Planning Commission approved a Special Permit to expand the existing church, a Lot Line Adjustment to merge three parcels, and a Variance to waive a six foot masonry wall on the east and north property lines. A masonry and wrought iron fence with gates was approved for the front of the property. A six foot high cyclone fence with wood slats and landscaping was approved for the east and north property lines. The applicant has complied with the wall and fence requirement of the Variance.

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site is 0.8+ developed acres in the Standard Single Family Residential (R-1) zone. The General Plan designates the subject site as Low Density Residential (4-15 du/na). The subject site is in the Oak Park Redevelopment Plan Area which designates the site as Residential. The surrounding land use and zoning for the subject site is city park, zoned R-2B to the north; residential, zoned R-1 to the south and west; and residential and vacant, zoned R-1 to the east.

B. Applicant's Proposal

The applicant is proposing to demolish an existing 3,200 square foot church and to construct a 4,485 square foot, 174 seat church. The applicant plans to preserve the masonry block and wrought iron fence and gates at the front of the property and the six foot cyclone fence with wood slats and landscaping along the east and north property lines. The applicant proposes to enclose the property by replacing the dilapidated wood fence on the west property line with six foot cyclone fence with wood slats and landscaping (see Exhibit A). Also, a new sign is proposed for the church.

C. Staff Analysis

1. Parking:

According to the Zoning Ordinance, one parking space is required for every six fixed seats in a church. With 174 seats proposed, 29 parking stalls are required. Fifty-four parking stalls are proposed.

According to the Zoning Ordinance, maneuvering area for each standard parking stall must be 26 feet. Staff recommends revising the site plan so that at least 26' of maneuvering area be provided for each parking stall, except the three stalls on the east side of the church which would be reserved for compact cars and would require 25 feet of maneuvering area.

Staff recommends that all exterior lighting for the parking lot be shielded or designed to eliminate light glare into the adjacent residential uses.

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Findings of Fact:

1. The proposed project, as conditioned, is based upon sound principles of land use in that the project is an existing church use in a Standard Single Family Residential (R-1) zone and is surrounded by residential uses.
2. The project will not be detrimental to the public health, safety, or welfare nor result in a nuisance in that:
 - a. adequate off-street parking, landscaping, and setbacks are provided,
 - b. exterior lighting will be shielded to prevent light glare into the adjacent residential uses,
 - c. the church use is existing, and
 - d. the church use will be adequately buffered from the adjacent residential uses with a 6 foot high cyclone fence with wood slats and landscaping.
3. The proposed project is consistent with the General Plan and the 1985 Oak Park Redevelopment Plan which designate the site Low Density Residential (4-15 du/na) and Residential, respectively.

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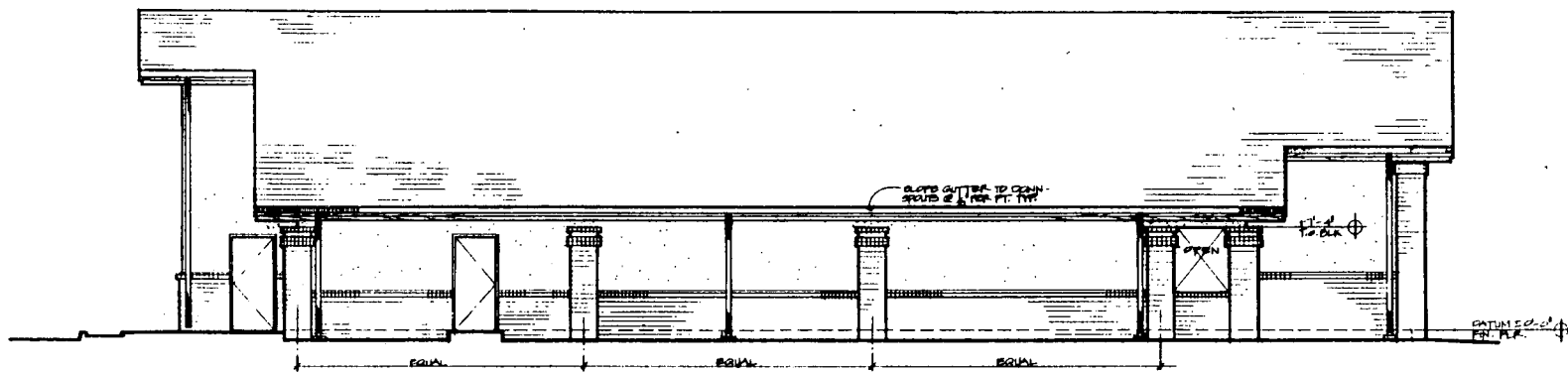
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P90-029

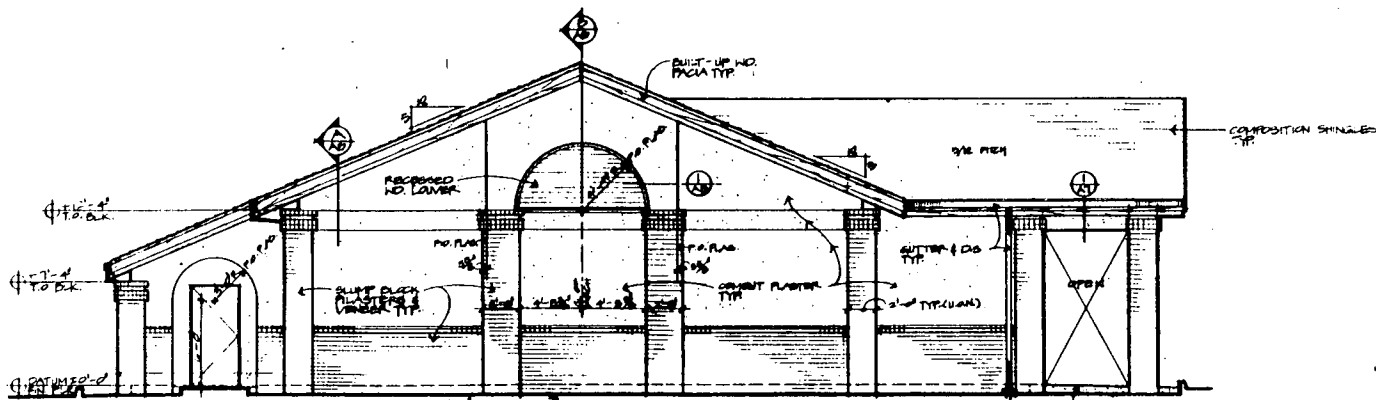
March 8, 1990

Item #3

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WEST ELEVATION 14'51'-0"
REFERENCE LEFT



SOUTH ELEVATION 14'51'-0"
REFERENCE FRONT

BOOK
and
FLANNERY

ARCHITECTS & PLANNERS

1111 MARKET STREET, SUITE 1000

75 WELLSVILLE AVENUE
SUNNYVALE, CA 95084
PH: (415) 755-0800

EXHIBIT C
ELEVATIONS



PROJECT TITLE

KINGDOM HALL
OF
JEHOVAH'S
WITNESSES

for the
LAKE PARK
CONGREGATION

Located at
2965 12th Avenue
SACRAMENTO, CALIFORNIA

SHEET TITLE

EXTERIOR
ELEVATIONS

DATE

11/2/87

DRAWN

Checked

CHECKED

PROJECT NO.

843

SHEET NO.

A-3

3

**BOOK
and
FLANNERY**

ARCHITECTS • PLANNERS •
ENGINEERING • INTERIOR DESIGN •

75 WELLSFORD AVENUE
DUBLIN, CA 94568
PH (415) 755-8888

EXHIBIT C
continued



PROJECT TITLE

**KINGDOM HALL
of
JEHOVAH'S
WITNESSES**

For the
**LANDO PARK
CONGREGATION**

located at
3965 12th AVENUE
SACRAMENTO, CALIFORNIA

SHEET TITLE
**EXTERIOR
ELEVATIONS**

DATE
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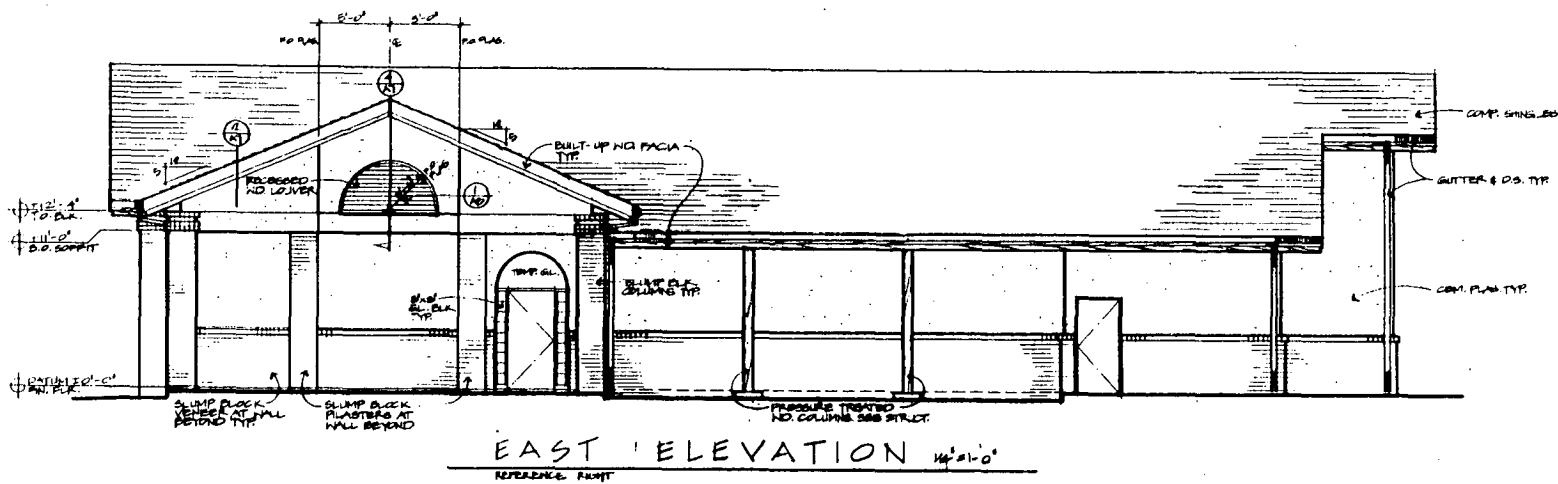
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OF

P90-029

March 8, 1990

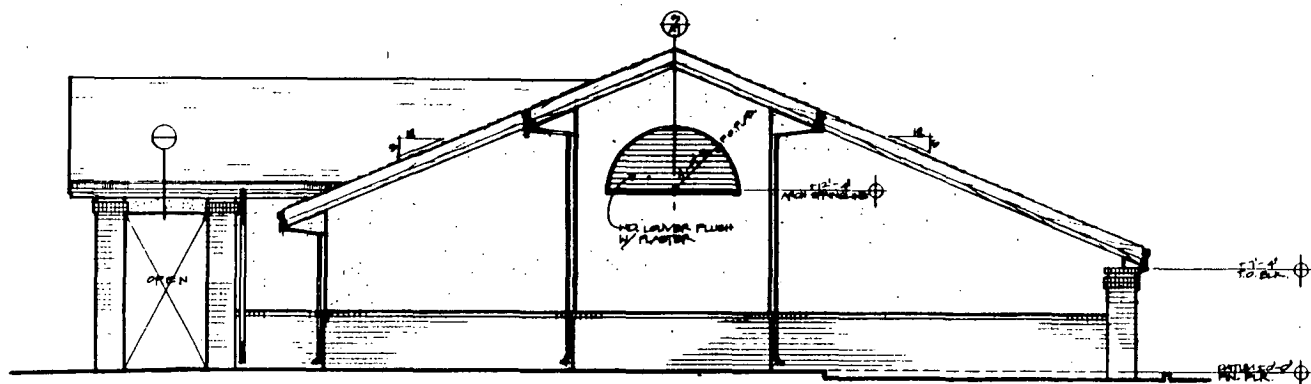
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Item #3



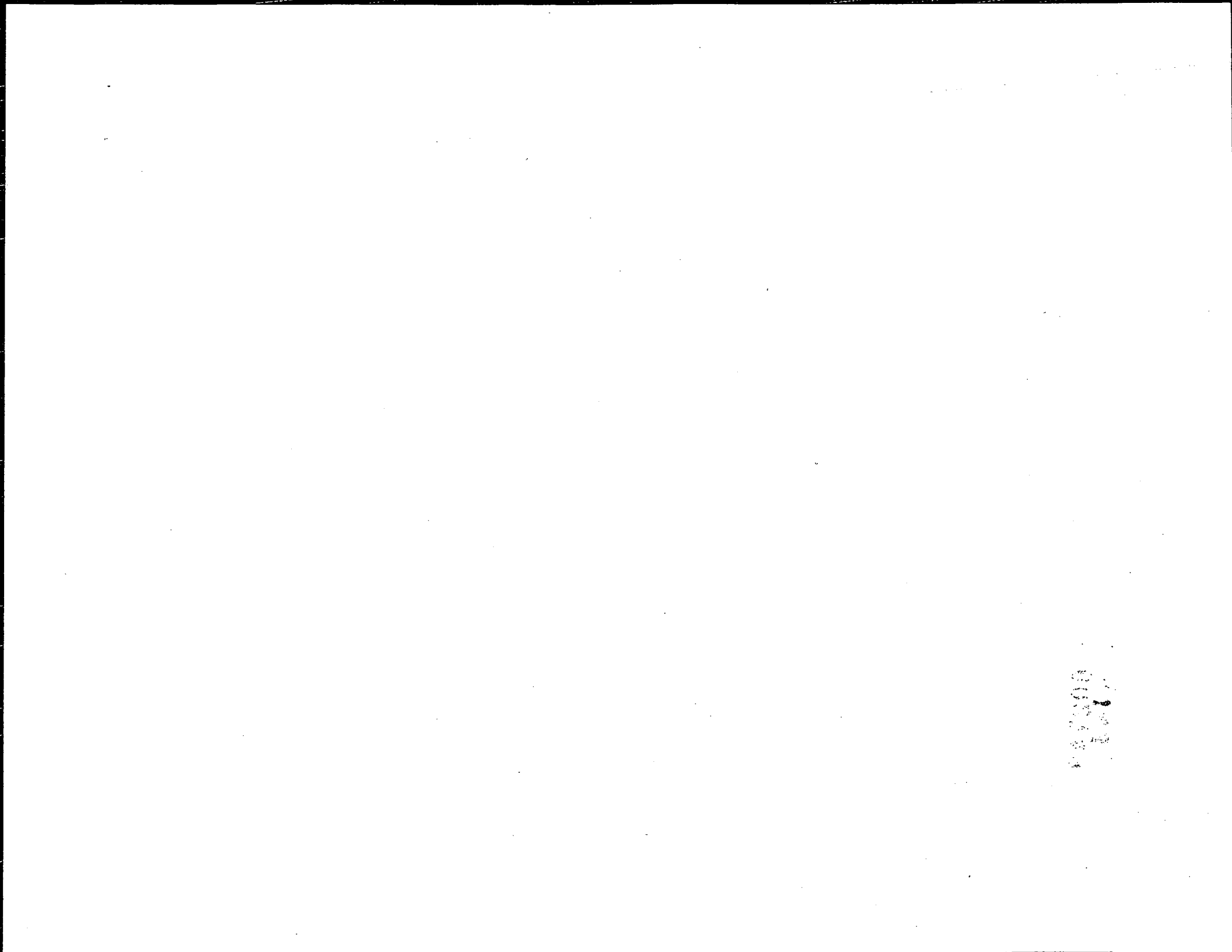
EAST ELEVATION 14'-0"

REFERENCE FRONT

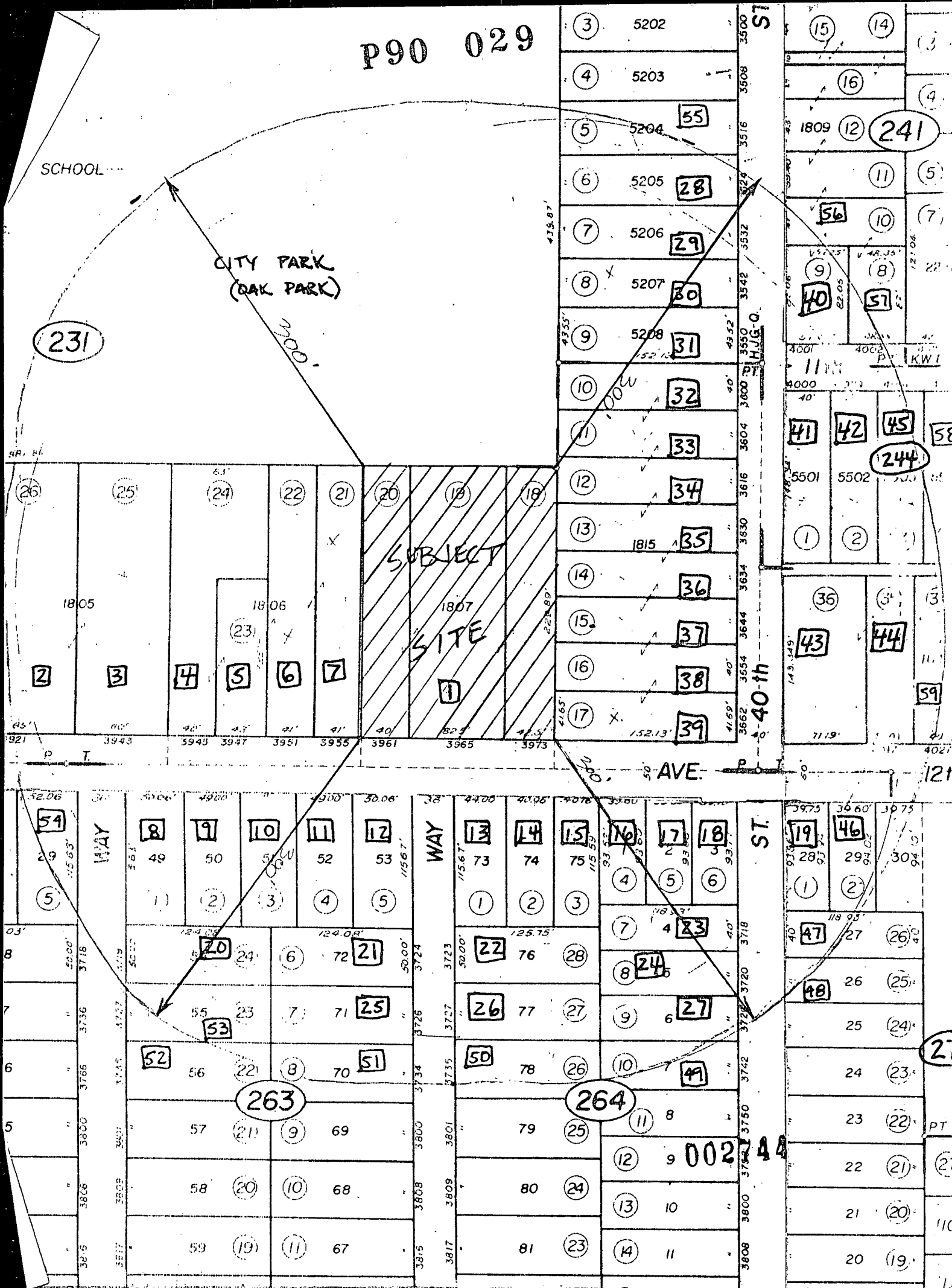


NORTH ELEVATION 14'-0"

REFERENCE REAR



P90 029



SCHOOL

CITY PARK
(OAK PARK)

231

SUBJECT
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City Planning Commission
Sacramento, California

Members in Session:

Subject: Various Requests re. 3965 12th Ave. (P90-029)

The staff requests this item be continued to the March 8, 1990 Commission meeting.

Respectfully submitted,

Suzanne Glimstad

Suzanne Glimstad,
Secretary to Commission

sg

P90-029

February 22, 1990

Item 5

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