

# PLANNING DIRECTOR'S SPECIAL PERMIT

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

<b>APPLICANT</b>	<u>Di Loreto Construction &amp; Development, P.O. Box 70280, Reno, NV</u>				
<b>OWNER</b>	<u>Di Loreto Construction &amp; Development, Inc.</u>				
<b>PLANS BY</b>	<u>EDI Architecture/Planning, 333 Broadway, San Francisco, CA 94133</u>				
<b>FILING DATE</b>	<u>6-29-90</u>	<b>ENVIR. DET.</b>	<u>Negative Declaration</u>	<b>REPORT BY</b>	<u>IC</u>
<b>ASSESSOR'S-PCL. NO.</b>	<u>117-0900-003,004,005,006</u>				

- APPLICATION:**
- A. Negative Declaration
  - B. Planning Director's Special Permit to allow a vacant lot and four units under construction to be utilized as a model home complex on 0.64+ partially developed acres in the Single Family (R-1) zone.
  - C. Planning Director's Special Permit to allow an on-site subdivision marketing sign on 0.14+ vacant acres in the Single Family (R-1) zone.

**LOCATION:** Northwest corner of Center Parkway and Hermitage Way

**PROPOSAL:** The applicant is requesting the necessary entitlements to allow a model home complex and subdivision marketing sign for Laguna Verde Subdivision.

**PROJECT INFORMATION:**

General Plan Designation:	Low Density Residential (4-15 du/ac)
1986 South Sacramento	
Community Plan Designation:	Residential (4-8 du/ac)
Existing Zoning of Site:	R-1
Existing Land Use of Site:	Vacant and four single family homes under construction

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Single Family; R-1	Front:	25'	25' - 30'
South: Vacant; R-1A	Side(Int):	5'	5' - 14'
East: Apartments; R-2AR	Rear:	15'	16' - 60'
West: Vacant; R-1			

Parking Required:	4
Parking Provided:	15
Property Dimensions:	56' X 140' (avg. per lot)
Property Area:	1.17+ ac.
Square Footage of Building:	1743, 1906, 2226 and 2473 sq. ft.
Height of Building:	2 - one story; 2- two story
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Materials:	Horizontal Wood Siding
Roof Materials:	Composition Shake

BACKGROUND INFORMATION: On August 11, 1988, the Planning Commission recommended approval for a General Plan Amendment from Light Density Residential to Medium Density Residential, Community Plan Amendment from Residential (4-8 du/ac to 11-21 du/ac), Rezone from Agriculture to R-1, R-1A and R-2B(R) and a Tentative Map. A Special Permit for 171 zero lot lines homes was approved at this time (P88-220). On September 20, 1988, the City Council approved the above entitlements modifying the request to allow for 68 zero lot lines units, 85 standard single family homes, 168 apartment units, 10+ acres to be dedicated for school use and 4.4+ acres for park use.

PROJECT EVALUATION: Staff has the following comments:

- A. The applicant is requesting a Planning Director's Special Permit for six lots to be used as a model home complex for standard single family homes. The applicant wishes to utilize four single family units currently under construction as models, one lot for a 15 space parking area and one lot for a subdivision marketing sign for the model home complex for Laguna Verde Subdivision. The site is zoned Single Family (R-1). The General Plan designates the site as Low Density Residential (4-15 du/ac). The 1986 South Sacramento Community Plan designates the site as Residential (4-8 du/ac).
- B. The complex represents four plans, which consist of two-one story units and two-two story units. Plan A shows 1308 square feet of living area with a 435 square foot garage, Plan B shows 1449 square feet of living area with a 457 square foot garage, Plan C shows 1741 square feet of living area with a 485 square foot garage and Plan D shows 2036 square feet of living area with a 437 square foot garage. The models which are under construction meet all of the minimum required setbacks.
- C. The applicant proposes to develop Lot 135 of Laguna Verde as a 15 space parking lot for the model home complex. The parking lot is required to be paved to City surfacing standards and meet minimum parking stall dimensions. The applicant has submitted a landscaping plan indicating sod and shrubs around the perimeter of the lot.
- D. The applicant proposes to place a subdivision marketing sign on Lot 130 of Laguna Verde. The sign will be a monument type sign four feet six inches high. The total sign area will be 15+ square feet. The sign shall be located outside the setback area of the lot. The applicant has submitted a landscaping plan indicating the lot to be planted with sod, trees and shrubs around the perimeter of the lot and sign area.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project as proposed will not have a significant impact on the environment; therefore, a Negative Declaration has been prepared.

RECOMMENDATION: Staff recommends the Planning Director take the following actions:

- A. Ratify the Negative Declaration,

- B. Approve the Planning Director's Special Permit to allow a vacant lot and four units under construction to be utilized as a model home complex subject to conditions and based upon findings of fact which follow; and,
- C. Approve the Planning Director's Special Permit to allow an on-site subdivision marketing sign subject to conditions and based on findings of fact which follow.

Conditions:

- 1. The garages of the model homes, which are used as sales offices, shall be converted back to garage use prior to final inspection and sale of the homes.
- 2. Hours of operation for the model home complex shall be from 10:00 A.M. until 6:00 P.M., seven days a week.
- 3. All fences shall comply to the Fence Ordinance.
- 4. No subdivision flags or banners shall be placed around or near the model home complex or within the subdivision.
- 5. Individual unit signs shall be limited to one square foot in size and two feet in height.
- 6. The proposed signs shall be located outside of the required setback areas.
- 7. The Special Permits for the model home complex and the subdivision marketing sign shall expire one year from the date of approval. The Planning Director may renew the permit for an additional year upon receipt of an application submitted at least 30 days prior to expiration.

Findings of Fact:

- 1. The project, as conditioned, is based upon sound principles of land use in that:
  - a. The proposed model home complex and sign will assist in marketing a previously approved residential subdivision; and,
  - b. The model home complex and sign is a temporary use.
- 2. The project, as conditioned, will not be detrimental to the public health or safety in that adequate setbacks and parking are provided.

3. The project, as conditioned, is consistent with the City's General Plan and 1986 South Sacramento Community Plan in that the site is designated residential and the proposed model home complex and sign conform to the plan designation.

Report Prepared By:

*Jeanne Corcoran*  
Jeanne Corcoran, Planner

8-30-90

Date

Recommendation Approved By:

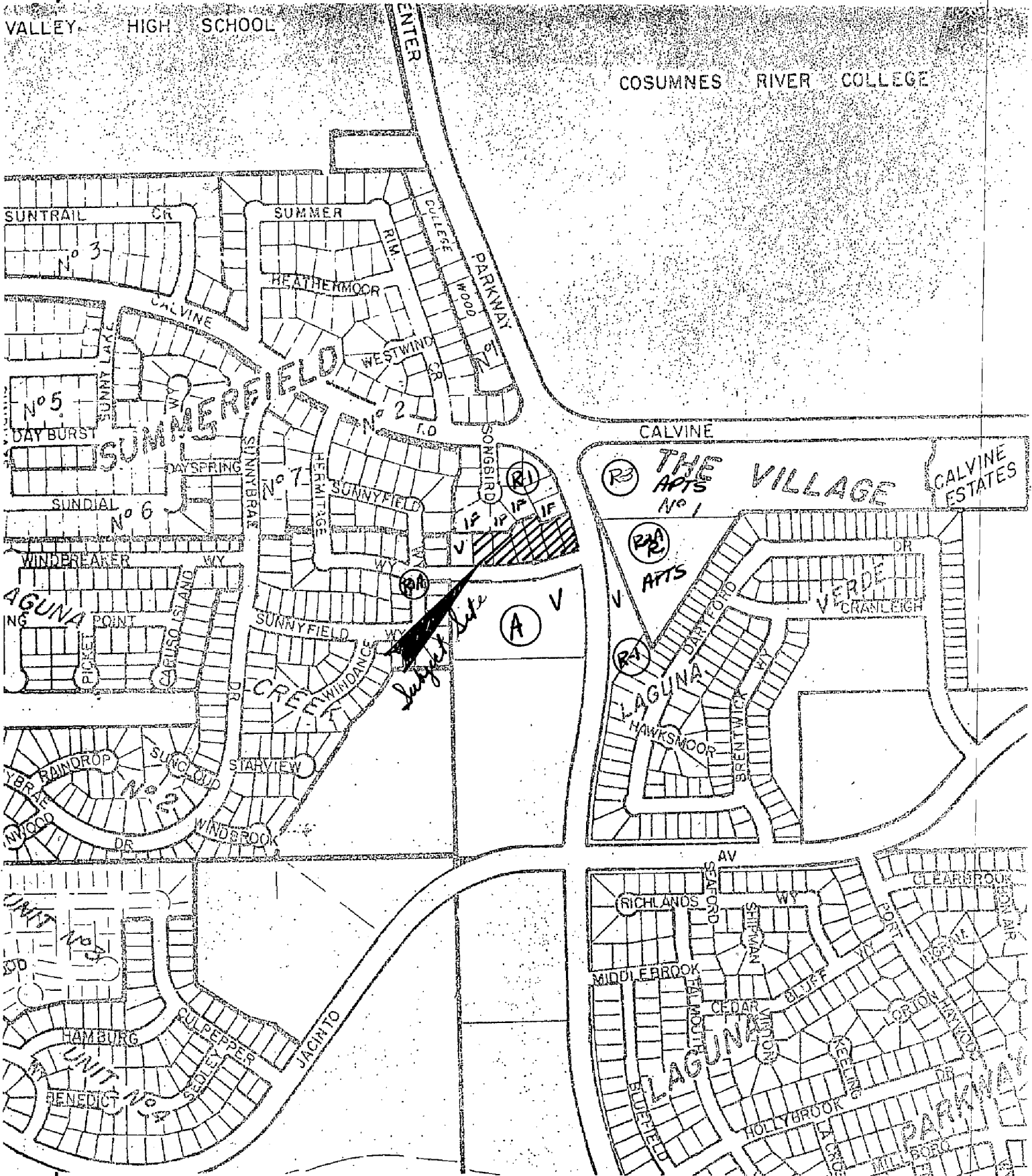
*Marty Van Duyn*  
Marty Van Duyn, Planning Director

9-4-90

Date

VALLEY HIGH SCHOOL

COSUMNES RIVER COLLEGE



VICINITY - LAND USE - ZONING

P90-297

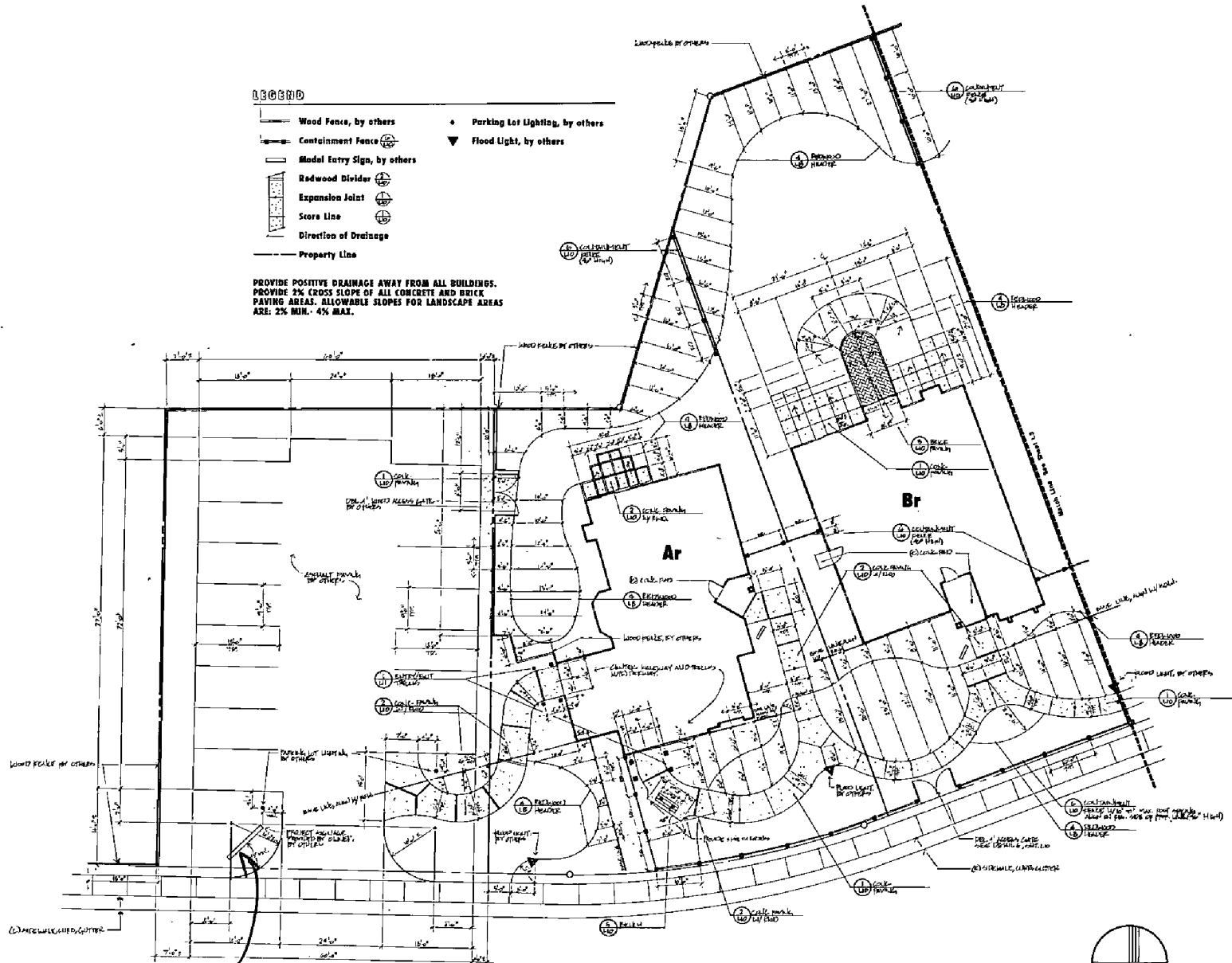
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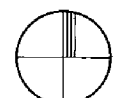
**LEGEND**

- Wood Fence, by others
- Containment Fence
- Metal Entry Sign, by others
- Redwood Divider
- Expansion Joint
- Score Line
- Direction of Drainage
- Property Line
- Parking Lot Lighting, by others
- ▼ Flood Light, by others

PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS. PROVIDE 2% CROSS SLOPE OF ALL CONCRETE AND BRICK PAVING AREAS. ALLOWABLE SLOPES FOR LANDSCAPE AREAS ARE: 2% MIN. - 4% MAX.



**Hermitage Way**



**NORTH**  
SCALE: 1"=10'-0"

*Sign to be eliminated*

**THE HGA GROUP**  
LANDSCAPE ARCHITECTS & PLANNERS

The Habitat  
Landscape Architectural Group, Inc.

190 Third Street  
Suite 500  
Sacramento  
California 95814  
916/447-7400  
916/447-8200  
*Rothstein*  
CETA 100

**LAGUNA VERDE MODEL COMPLEX**

**Di Loreto CONSTRUCTION & DEVELOPMENT, INC.**

**LAYOUT PLAN**

Drawn By:	CB
Checked By:	DC
Job No.:	26690
Date:	2.23.90
Revision:	
Drawing Number:	L2

The drawing is not final and shall not be used for construction until it has been signed by the Landscape Architect.

Drawn on: 11/24

*EXHIBIT A-1  
SITE PLAN*

**THE ILLIA GROUP**  
**LANDSCAPE ARCHITECTS & PLANNERS**

The Hablizel Landscape Architectural Group, Inc.

190 Third Street  
 Suite 500  
 San Mateo  
 California 94404  
 916/447-7400  
 FAX 916/447-8270  
*Robert*  
 CRA 1699

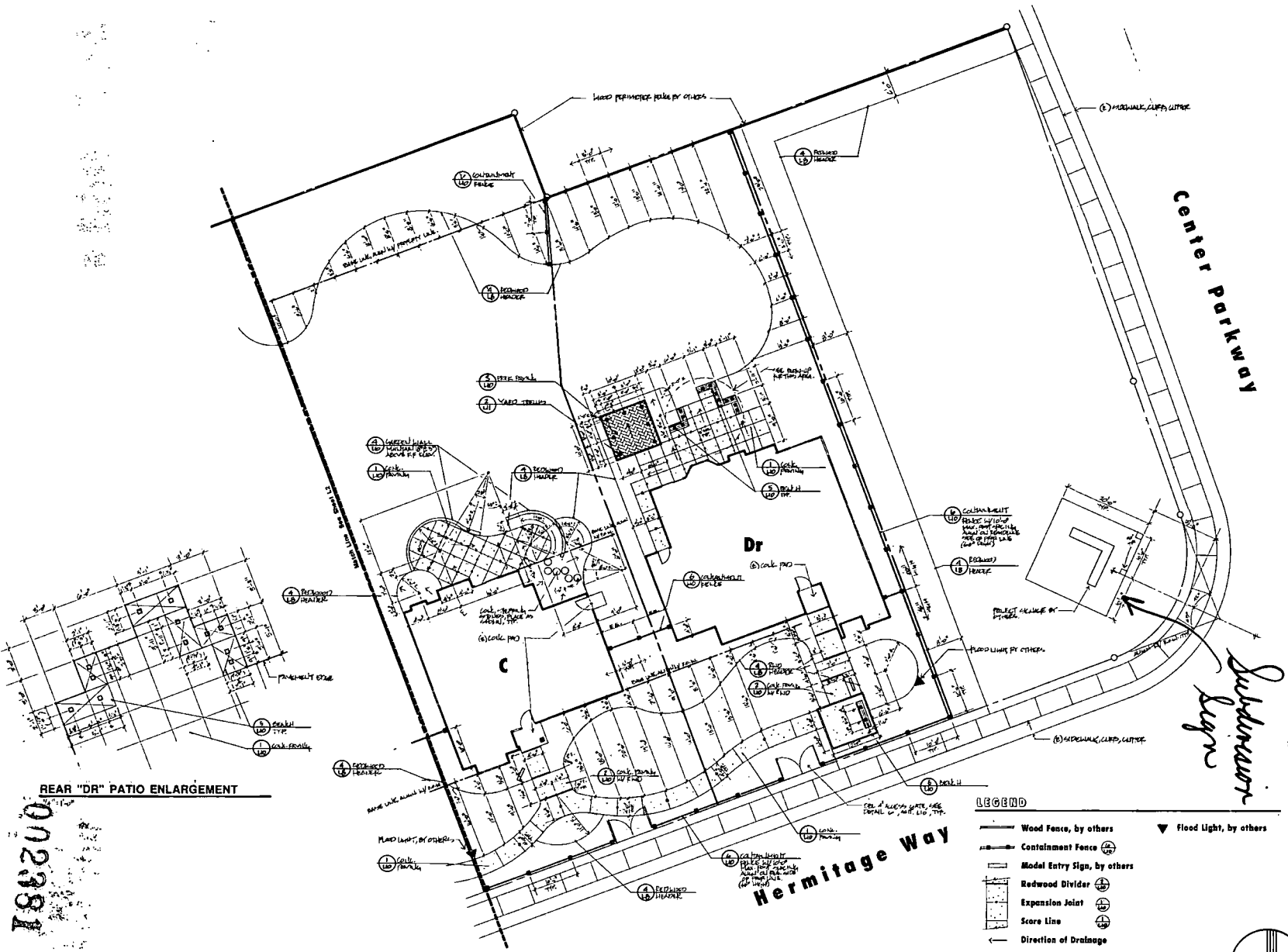
**LAGUNA VERDE MODEL COMPLEX**

DI Loreto CONSTRUCTION & DEVELOPMENT, INC.

**LAYOUT PLAN**

Drawn By:	CB
Checked By:	SC
Job No.:	26690
Date:	2.23.90
Revision:	
This drawing is not final and shall not be used for construction until it has been signed by the Landscape Architect	
Drawing Number:	L3
Copyright © Dec. 14.	

EXHIBIT A-2  
SITE PLAN



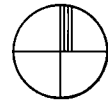
REAR "DR" PATIO ENLARGEMENT

022381

**LEGEND**

- Wood Fence, by others
- Containment Fence
- Model Entry Sign, by others
- Redwood Divider
- Expansion Joint
- Score Line
- Direction of Drainage
- Property Line
- ▼ Flood Light, by others

PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS. PROVIDE 2% CROSS SLOPE OF ALL CONCRETE AND BRICK PAVING AREAS. ALLOWABLE SLOPES FOR LANDSCAPE AREAS ARE: 2% MIN. - 4% MAX.



NORTH  
 SCALE: 1"=10'-0"







EXHIBIT B-3A  
FLOOR PLAN

ROOM FINISH SCHEDULE											
ROOM	WALLS	CEILING	FLOOR	DOOR	WINDOW	GLASS	GLASS	GLASS	GLASS	GLASS	REMARKS
MBATH 1	1	1	1	1	1	1	1	1	1	1	ALL WALLS INDICATED ARE ONLY
MBATH 2	1	1	1	1	1	1	1	1	1	1	REMARKS
UTILITY	1	1	1	1	1	1	1	1	1	1	REMARKS
POWDER	1	1	1	1	1	1	1	1	1	1	REMARKS
FAMILY	1	1	1	1	1	1	1	1	1	1	REMARKS
KITCHEN 2	1	1	1	1	1	1	1	1	1	1	REMARKS
KITCHEN 1	1	1	1	1	1	1	1	1	1	1	REMARKS
DINING	1	1	1	1	1	1	1	1	1	1	REMARKS
LIVING	1	1	1	1	1	1	1	1	1	1	REMARKS
ENTRY	1	1	1	1	1	1	1	1	1	1	REMARKS
PATIO	1	1	1	1	1	1	1	1	1	1	REMARKS
GARAGE	1	1	1	1	1	1	1	1	1	1	REMARKS
STORAGE (OPT.)	1	1	1	1	1	1	1	1	1	1	REMARKS
BATH 2	1	1	1	1	1	1	1	1	1	1	REMARKS
LINEN	1	1	1	1	1	1	1	1	1	1	REMARKS

DOOR SCHEDULE											
DOOR	SIZE	TYPE	FINISH	GLASS	REMARKS						
1	36" x 80"	SWING	1	1	REMARKS						
2	36" x 80"	SWING	1	1	REMARKS						
3	36" x 80"	SWING	1	1	REMARKS						
4	36" x 80"	SWING	1	1	REMARKS						
5	36" x 80"	SWING	1	1	REMARKS						
6	36" x 80"	SWING	1	1	REMARKS						
7	36" x 80"	SWING	1	1	REMARKS						
8	36" x 80"	SWING	1	1	REMARKS						
9	36" x 80"	SWING	1	1	REMARKS						
10	36" x 80"	SWING	1	1	REMARKS						
11	36" x 80"	SWING	1	1	REMARKS						
12	36" x 80"	SWING	1	1	REMARKS						
13	36" x 80"	SWING	1	1	REMARKS						
14	36" x 80"	SWING	1	1	REMARKS						
15	36" x 80"	SWING	1	1	REMARKS						
16	36" x 80"	SWING	1	1	REMARKS						
17	36" x 80"	SWING	1	1	REMARKS						

WINDOW SCHEDULE											
WINDOW	SIZE	TYPE	FINISH	GLASS	REMARKS						
1	36" x 48"	FIXED	1	1	REMARKS						
2	36" x 48"	FIXED	1	1	REMARKS						
3	36" x 48"	FIXED	1	1	REMARKS						
4	36" x 48"	FIXED	1	1	REMARKS						
5	36" x 48"	FIXED	1	1	REMARKS						
6	36" x 48"	FIXED	1	1	REMARKS						
7	36" x 48"	FIXED	1	1	REMARKS						
8	36" x 48"	FIXED	1	1	REMARKS						
9	36" x 48"	FIXED	1	1	REMARKS						
10	36" x 48"	FIXED	1	1	REMARKS						
11	36" x 48"	FIXED	1	1	REMARKS						
12	36" x 48"	FIXED	1	1	REMARKS						
13	36" x 48"	FIXED	1	1	REMARKS						
14	36" x 48"	FIXED	1	1	REMARKS						
15	36" x 48"	FIXED	1	1	REMARKS						
16	36" x 48"	FIXED	1	1	REMARKS						
17	36" x 48"	FIXED	1	1	REMARKS						

FLOOR PLAN NOTES											
1. FINISH LINES ON STORAGE, S.E. SPACED @ 16" O.C. MIN. 17" CLEAR											
2. PROVIDE ELECTRICAL CONDUIT TO WORK ISLAND											
3. PROVIDE SPACE											
4. WASHER SPACE W/ 1" DRAIN, 1 1/2" W. A.C. IN LINE TO LET 20% OF DRAINAGE VENT TO OUTSIDE AIR											
5. EACH BALCONY & COVER W/ 2" DRAIN, 1 1/2" W. A.C. IN LINE TO LET 20% OF DRAINAGE VENT TO OUTSIDE AIR											
6. 36" x 48" TUB, TILE TO 2 1/2" A.P.F. (FLOOR) VENTY DIM. TUB ACCESS											
7. THERMO GLASS (POWER ENCLOSURE & DOOR) W/ 1" UP BULK (FLAT) CASE											
8. 1/2" INCH IN SLIC. PROVIDE POWER, GAS & DRAIN											
9. ATTIC ACCESS 36" x 48" W/ 1 1/2" W. A.C. IN LINE W/ 1" CLEAR HEAD ROOM ABOVE OPENING											
10. WATER HEATER 30" BALLON CAPACITY ON 1" PLASTIC W/ 1/2" DRAIN											
11. WATER HEATER 30" BALLON CAPACITY IN ATTIC W/ 1/2" DRAIN											
12. 2" METAL PIPING FROM HOT W.C. TO APPROX. 1" METAL PER M.M.P. SPECIFICATIONS AND/OR RECOMMENDATIONS, PLUMBING, E.C. 20											
13. 1/2" BATHY FLOORING											
14. BRICK HEARTH - 2" DEEP											
15. TILE HEARTH - 2" DEEP (2" WIDE/2")											
16. WINDOW SEAT - 2" DEEP											
17. MURDER HOLE - 2" WIDE RE BARRIER & ELEVATOR											
18. 1/2" DRAIN											

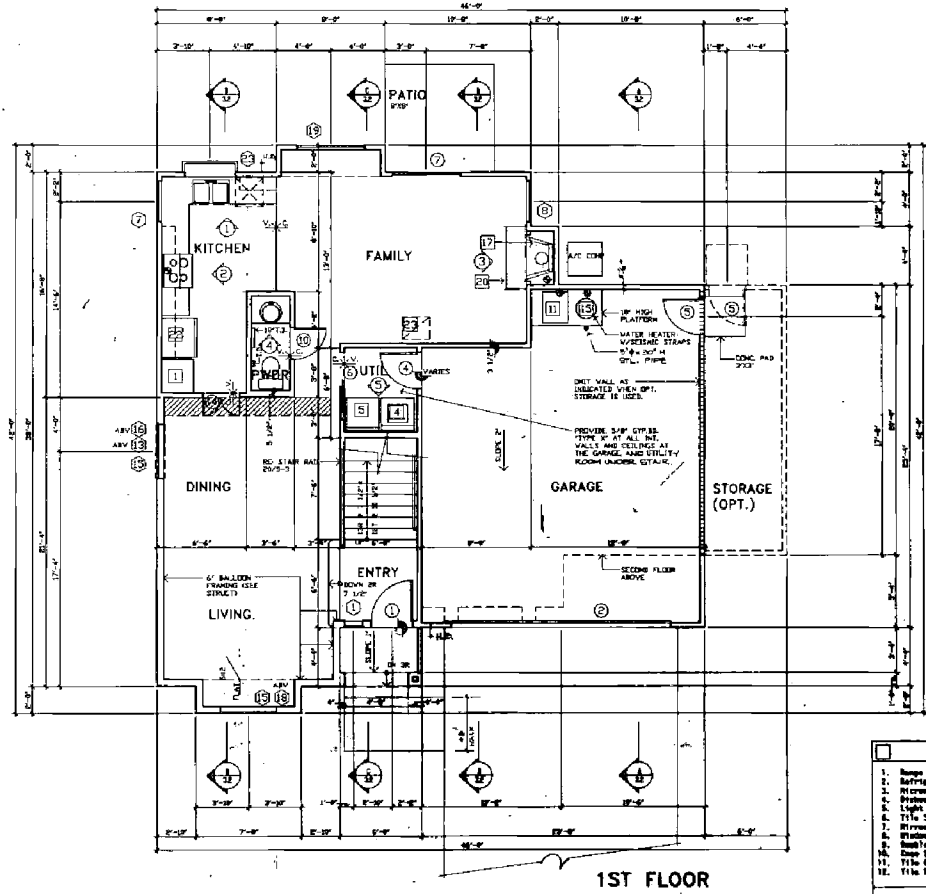
GENERAL NOTES											
1. WINDOWS IN BEDROOMS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 66". THE MIN. NET CLEAR OPENING WIDTH SHALL BE 20". BAL HEIGHT SHALL NOT BE MORE THAN 17" AT 1".											
2. 1/2" x 1/2" SHEET ROCK ON ALL COMMON WALLS & CEILING OF ATTACHED GARAGES.											
3. 1/2" x 1/2" SHEET ROCK UNDER STAIRS & STORAGE BELOW.											
4. ALL WORK AND ALL DIMENSIONS SHOWN ON THIS PLAN.											

LEGEND											
■	DOWN DOWN	□	UP UP								
■	PLATE LEGGE	□	SHOWER SUPPLY								
■	TOILET	□	TUB SHOWER SUPPLY								
■	SHOWER HEADS	□	BATH SUPPLY								
■	EXTERIOR ELEV.	□									

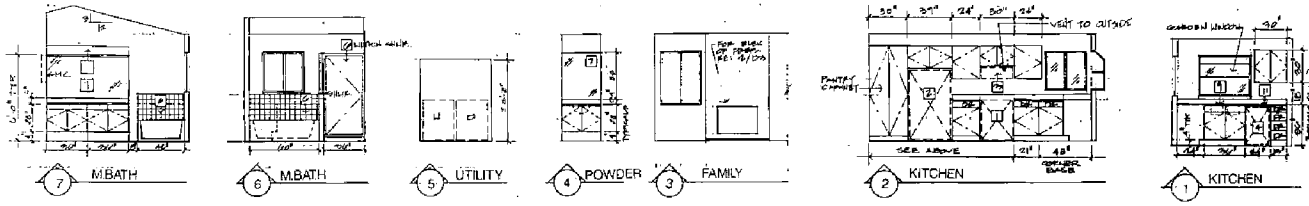
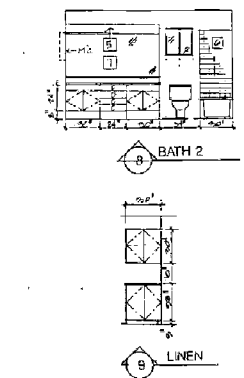
SQUARE FOOTAGE											
FIRST FLOOR	871	GARAGE	485	POCH							
SECOND FLOOR	206	PTCH/PORCH	182	DECK							
TOTAL	1077										



INTERIOR ELECTRICAL NOTES	
1.	Range Hood
2.	Refrigerator Hood
3.	Microoven w/ 10" Hood
4.	Refrigerator Hood
5.	Light Fixtures - Refer to Detail
6.	Tile Surrround
7.	Driver
8.	Window - Refer to Floor Plan
9.	Range Hood - Refer to Floor Plan
10.	Range Hood - Refer to Floor Plan
11.	Tile Surrround
12.	Tile Surrround - Refer to Floor Plan for Walls

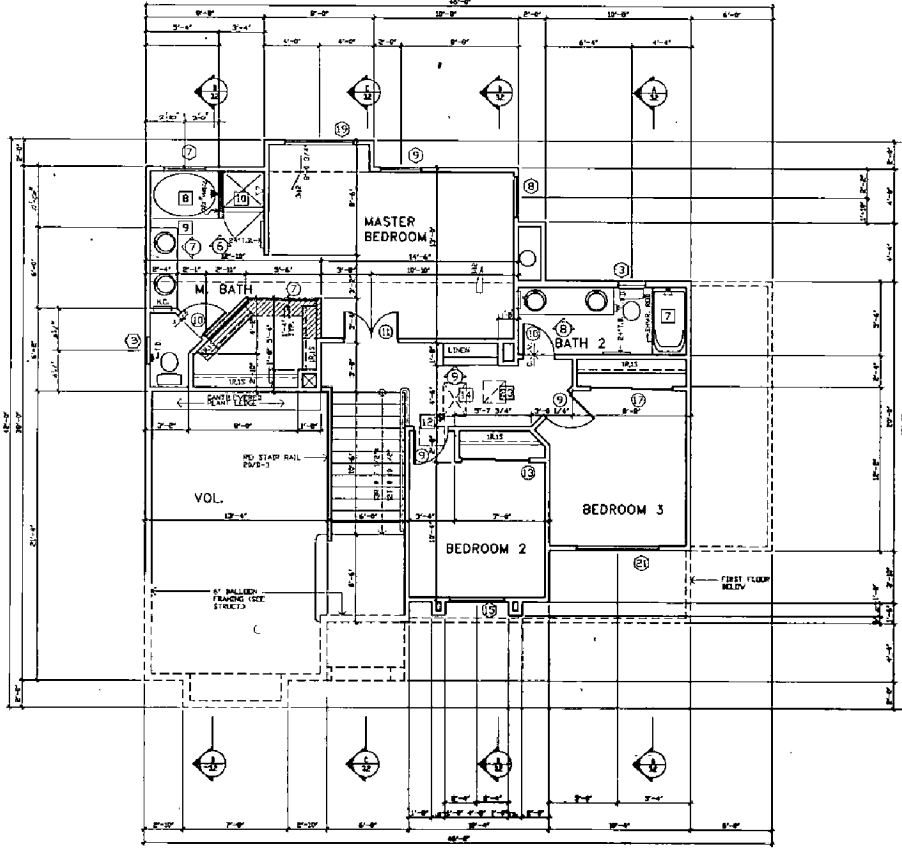
  

EXTERIOR ELECTRICAL NOTES	
1.	Verify Cabinet Arrangements, Dimensions and Clearances
2.	Provide Tile Countertops and Sinks to Kitchen
3.	Provide Outdoor Electric Range Hood (Refer to Detail)
4.	Verify Shower Pan and Tub w/ 1/2" Drainage



DRAWING NO. 31  
ISSUED 10-16-90  
REVISED

Scale: 1/8" = 1'-0"



2ND FLOOR

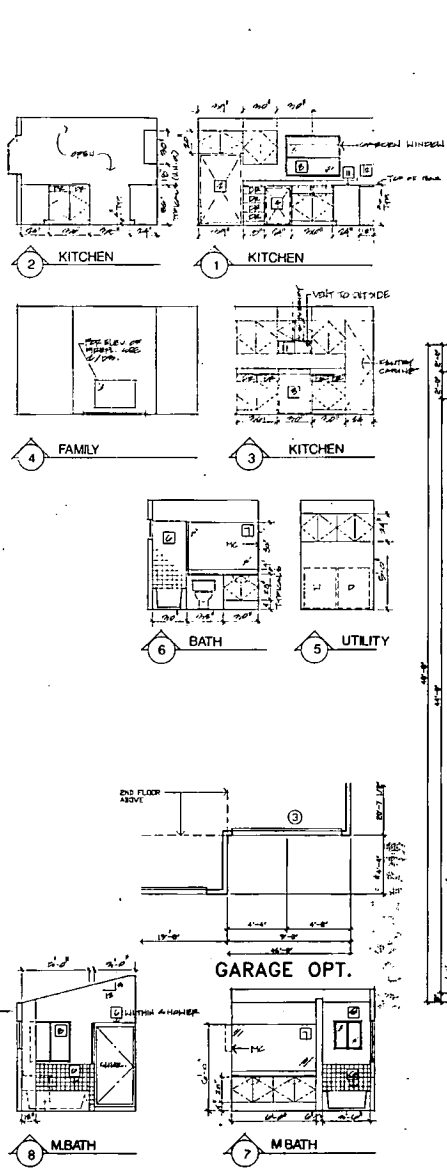
INDIANA C. HANCOCK, AIA  
VERDE & HANCOCK, INC.  
200 ARCHITECTURAL PLANNING  
SAN FRANCISCO, CA 94133  
(415) 382-2888



AND REVISIONS  
ISSUED 1-1-10  
REVISED  
DRAWING NO. 910008 PLAN

EXHIBIT B3B

98830

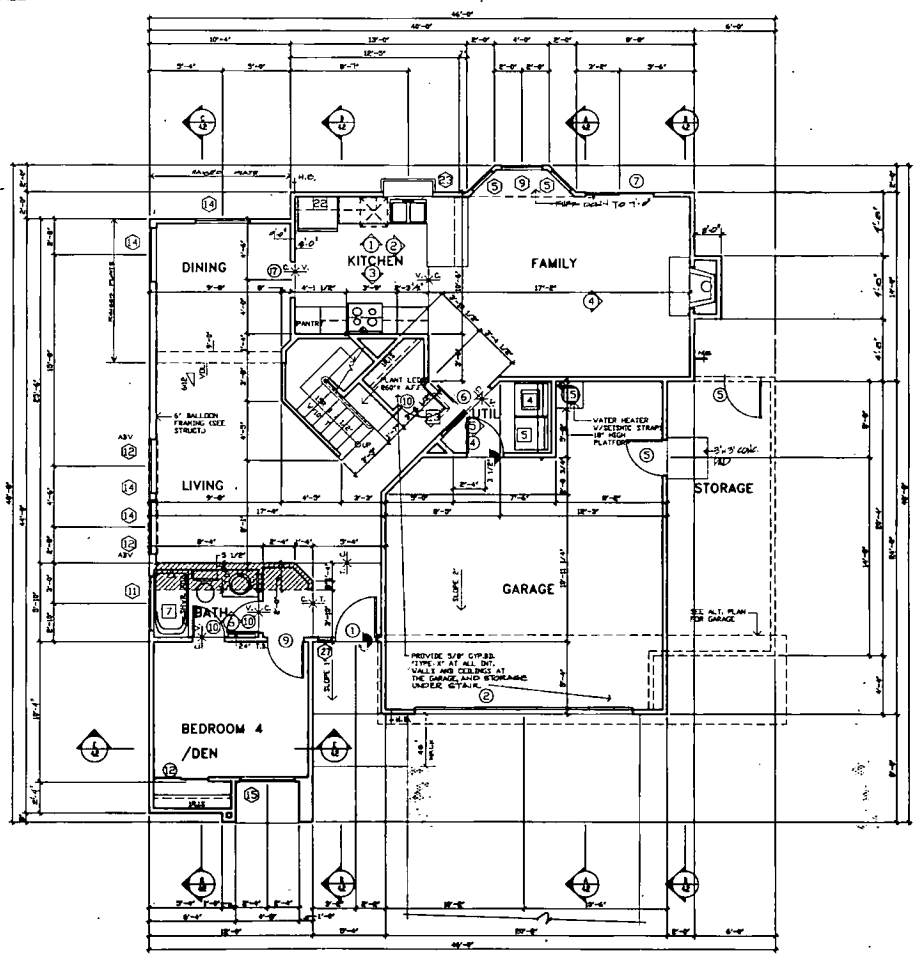


**INTERIOR ELEVATION/LEGEND**

1. Range Space
2. Refrigerator Space
3. Microwave with Hood Space
4. Dishwasher Space
5. Light Valance - Refer to Detail
6. Tile Surround
7. Mirror
8. Window - Refer to Floor Plans
9. Double Sink with Garbage Disposal - Porcelain or PXL
10. Knee Space
11. Tile Gutter
12. Tile Batten - Refer to Floor Plan for Width

**INTERIOR ELEVATION NOTES**

1. Verify Cabinet Arrangements, Dimensions and Clearances
2. Provide Tile Countertop and Splash in Kitchens
3. Provide Cultured Marble Vanity Tops with Integral Lavatories and 4" Splash in Bathrooms and Powder Rooms
4. Verify Shower Pans and Tubs with Rough-in Dimensions



1ST FLOOR

ROOM FINISH SCHEDULE											
ROOM	FLOOR	WALLS	CEILING	DOORS	WINDOWS	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS
KITCHEN	1	12	1	1	1	1	1	1	1	1	1
FAMILY	1	12	1	1	1	1	1	1	1	1	1
LIVING	1	12	1	1	1	1	1	1	1	1	1
DINING	1	12	1	1	1	1	1	1	1	1	1
BEDROOM 4/DEN	1	12	1	1	1	1	1	1	1	1	1
BATH	1	12	1	1	1	1	1	1	1	1	1
UTILITY	1	12	1	1	1	1	1	1	1	1	1
MBATH	1	12	1	1	1	1	1	1	1	1	1
STORAGE	1	12	1	1	1	1	1	1	1	1	1
GARAGE	1	12	1	1	1	1	1	1	1	1	1

DOOR SCHEDULE											
DOOR	SIZE	TYPE	FINISH	REMARKS							
1	36" x 80"	SWING	1	ENTRY							
2	36" x 80"	SWING	1	KITCHEN							
3	36" x 80"	SWING	1	FAMILY							
4	36" x 80"	SWING	1	LIVING							
5	36" x 80"	SWING	1	DINING							
6	36" x 80"	SWING	1	BEDROOM 4/DEN							
7	36" x 80"	SWING	1	BATH							
8	36" x 80"	SWING	1	UTILITY							
9	36" x 80"	SWING	1	MBATH							
10	36" x 80"	SWING	1	STORAGE							
11	36" x 80"	SWING	1	GARAGE							

WINDOW SCHEDULE WINDOW BY WINDOW											
WINDOW	SIZE	TYPE	FINISH	REMARKS							
1	36" x 48"	FIXED	1	KITCHEN							
2	36" x 48"	FIXED	1	FAMILY							
3	36" x 48"	FIXED	1	LIVING							
4	36" x 48"	FIXED	1	DINING							
5	36" x 48"	FIXED	1	BEDROOM 4/DEN							
6	36" x 48"	FIXED	1	BATH							
7	36" x 48"	FIXED	1	UTILITY							
8	36" x 48"	FIXED	1	MBATH							
9	36" x 48"	FIXED	1	STORAGE							
10	36" x 48"	FIXED	1	GARAGE							

**FLOOR PLAN NOTES**

1. PAINT, LINEN OR STORAGE, 3/8" SPACED SHELVES WITH 12" X 12" CLEAR
2. PROVIDE ELECTRICAL CONDUIT TO WORK ISLAND
3. RECESS BRACE
4. WASH BASIN WITH DRAIN, 1/2" H. R. A.C.H. MAKE UP LEFT SIDE OF DRYER ON SPACER AND RUN PLAN ON SPACER AND RUN PLAN
5. BACK WHEELS DRYER WITH DRAIN, 1/2" H. R. A.C.H. TEST TO OUTSIDE AIR
6. 30" x 48" TUB, TILE TO 1/2" H. R. A.C.H. (FLOOR) VERIFY DIM
7. 48" x 48" TUB, TILE TO 1/2" H. R. A.C.H. (FLOOR) VERIFY DIM
8. TUB ACCESS
9. IMPERVED GLASS SHOWER ENCLOSURE 8' 0"
10. H.W.C.
11. H.W.C. IN ATTIC, PROVIDE POWER, PAN & DRAIN, (2 UNITS)
12. ATTIC ACCESS
13. ATTIC ACCESS 24" x 24" x 10" H. R. D. 30" MIN. CLEAR HEAD ROOM ABOVE OPENING
14. WATER HEATER - BALLON CAPACITY ON 10' PLATFORM / BRACK HEAD
15. WATER HEATER - BALLON CAPACITY ON 10' PLATFORM / BRACK HEAD
16. METAL PRESSURE FIREPLACE I.C.G.O. APPROVED, NUMBER 4 INSTALL PER MANF. SPECIFICATIONS AND/OR RECOMMENDATIONS, MALEKTC EC-30
17. H.W.C. FIREPLACE
18. BRICK HEARTH - 2" DEEP - WOOD
19. TILE HEARTH - 2" DEEP - WOOD
20. WINDOW TREAT - 1/2" H. R. A.C.H.
21. PROVIDE WATER W/ SHUTOFF VALVE AT RESP.
22. RETURN AIR GRILLES

**GENERAL NOTES**

1. WINDOWS IN BEDROOMS SHALL HAVE 4" MIN. NET CLEAR OPENING OF 4.1 SQUARE FEET, THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 36". THE MIN. NET CLEAR OPENING WIDTH SHALL BE 20". ALL HEIGHTS SHALL NOT BE MORE THAN 47" A.F.F.
2. 3/4" P.C. SHEET ROOF ON ALL COMMON WALLS & CEILING OF ATTACHED GARAGES.
3. 3/4" P.C. SHEET ROOF UNDER STAIRS IF STORAGE BELOW.
4. ALL UNITS AND 45 SURFACES UNLESS NOTED OTHERWISE.

**LEGEND**

■ TURN DOWN	□ REFER TO FLOOR PLAN NOTES
■ PLANT LEGEND	■ TUB SUPPLY
■ BRICK HEARTH	■ SHOWER SUPPLY
○ REFER TO INTERIOR ELEV.	■ TUB/SHOWER SUPPLY
	■ GAS SUPPLY

**SQUARE FOOTAGE**

FIRST FLOOR	1262	GARAGE	277	TOTAL	1539
SECOND FLOOR	254	OPENSIDE	4710		
TOTAL	3806				

PLAN D  
FIRST FLOOR PLAN  
INTERIOR ELEVATIONS  
1/4"

LAGUNA VERDE  
DI LORETO CONSTRUCTION

RODOLFO C. HAZDEN, AIA  
VERONICA L. HORTON, AIA  
3333 SACRAMENTO BLVD., SUITE 100  
SAN JOSE, CA 95128  
(415) 251-2500

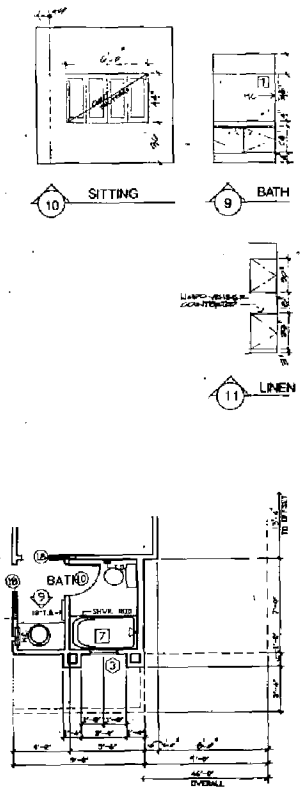
PROJECT NO. 11-10-10  
ISSUED 1-10-10  
REVISED

DRAWING NO. 4

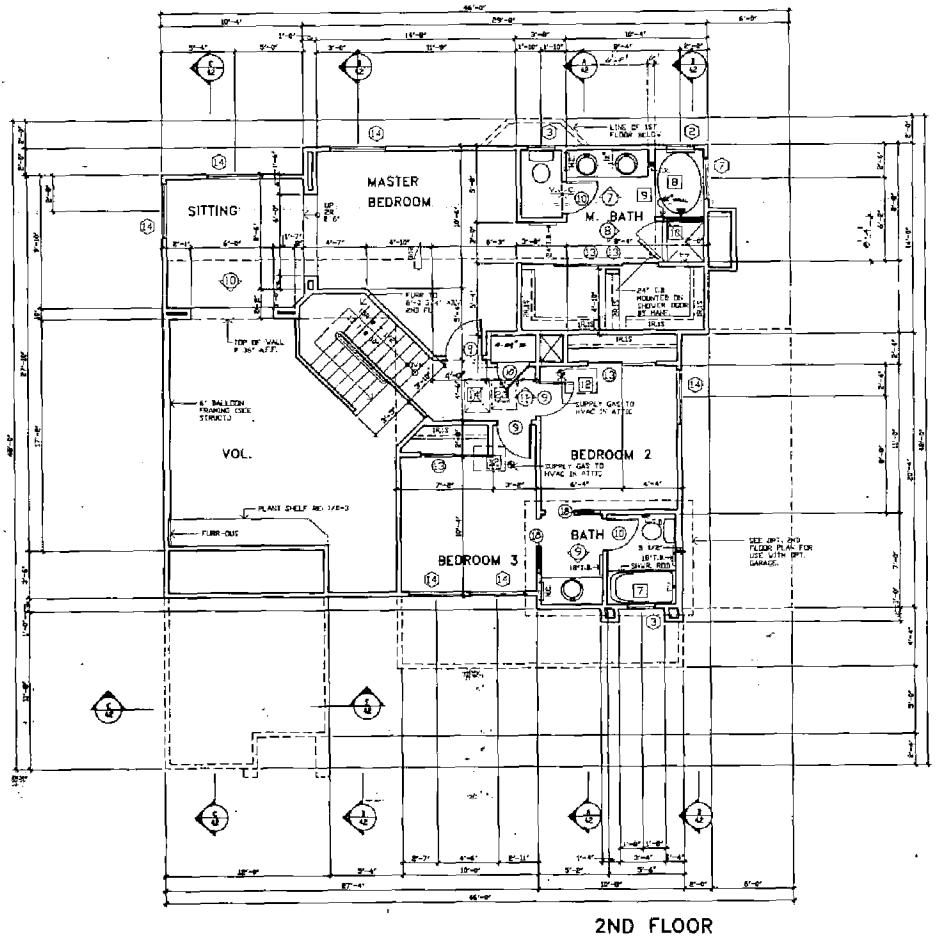
EXHIBIT B-44  
#1000 PLAN

002200

002200



OPT. 2ND FLOOR  
FOR USE W/ OPT. GARAGE ONLY



2ND FLOOR

INTERIOR ELEVATION/LEVEL	
1.	Range Hood
2.	Refrigerator Space
3.	Microwave with Hood Space
4.	Dishwasher Space
5.	Light Fixture - Refer to Detail
6.	Tile Surround
7.	Mirror
8.	Window - Refer to Floor Plan
9.	Double Sink with Garbage Disposal - Porcelain
10.	Main Space
11.	Tile Counter
12.	Tile BarTop - Refer to Floor Plan for Width

INTERIOR ELEVATION NOTES	
1.	Verify Cabinet Arrangement, Dimensions and Clearances
2.	Provide Tile Counters and Splash in Kitchen
3.	Provide Oil Proof Marble Vanity Tops with Jetlagral
4.	Leopards and 4" Splash in Bedrooms and Powder Room
5.	Verify Window Pane and Sill with Range in Bedroom

PLAN D  
SECOND FLOOR PLAN 1/4"  
INTERIOR ELEVATIONS

LAGUNA VERDE  
D. LORETO CONSTRUCTION



WILLIAM C. LORETO, JR.  
1000 S. WILSON AVENUE, SUITE 100  
SAN ANTONIO, TEXAS 78204  
TEL: 512-382-2800

PROJECT NO. 002200  
ISSUED 1/85  
REVISED

DRAWING NO. 4.15

EXHIBIT B 4B  
FLOOR PLAN

002388

DATE: 12/2/88  
DRAWN BY: [unclear]

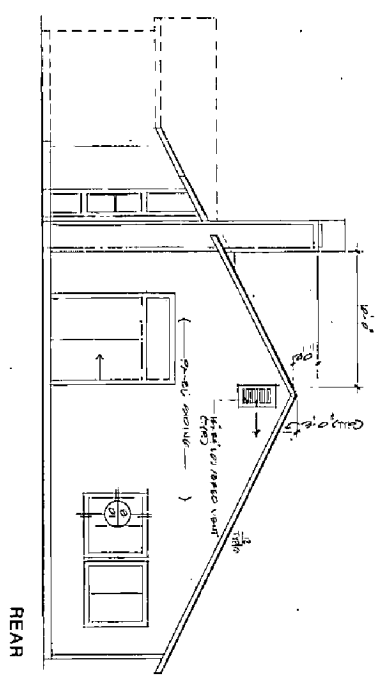
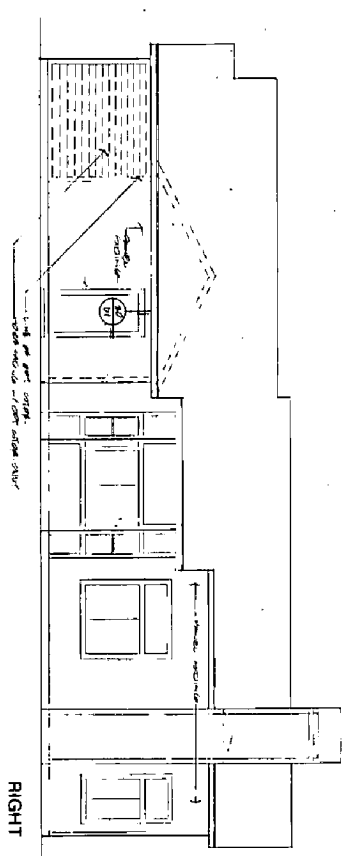
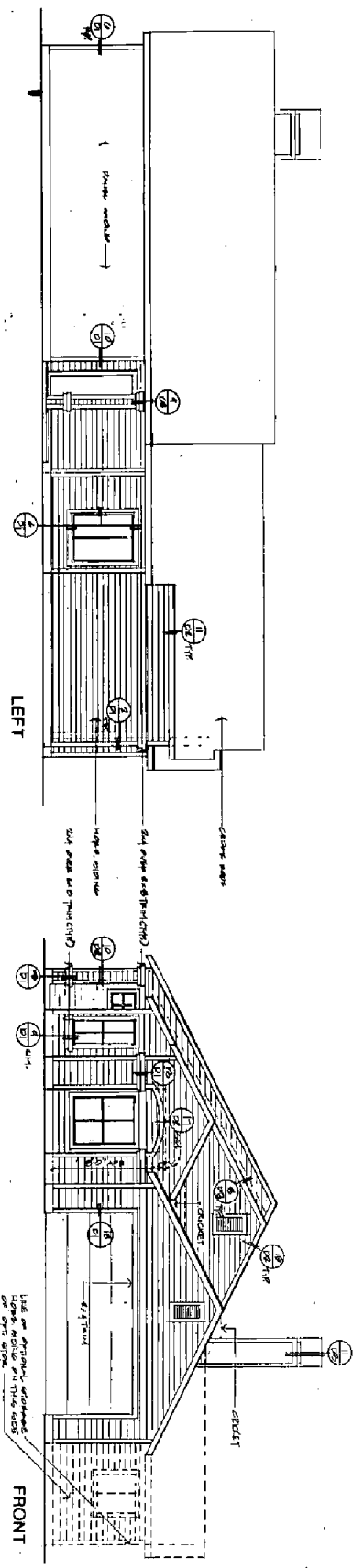


EXHIBIT A-1  
ELEVATIONS  
1.300



RICHARD C. HANDEL, AIA  
1008 N. BROADWAY, AIA  
100 BROADWAY, AIA  
213 BROADWAY  
SACRAMENTO, CA 95811  
(415) 542-2530

LAGUNA VERDE  
DI LORETO CONSTRUCTION

PLAN A  
ELEVATIONS

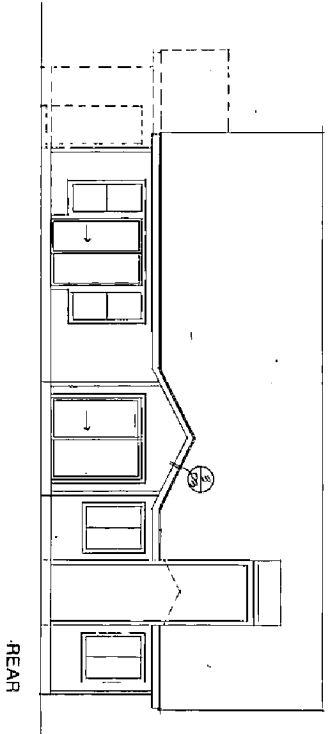
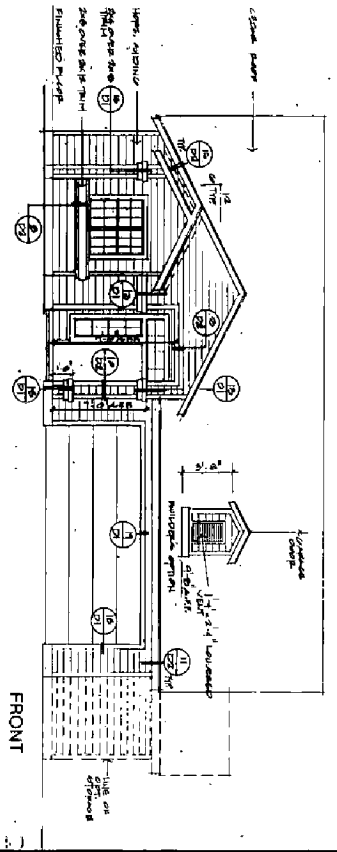
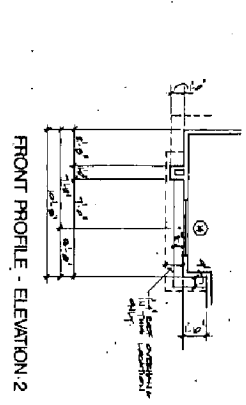
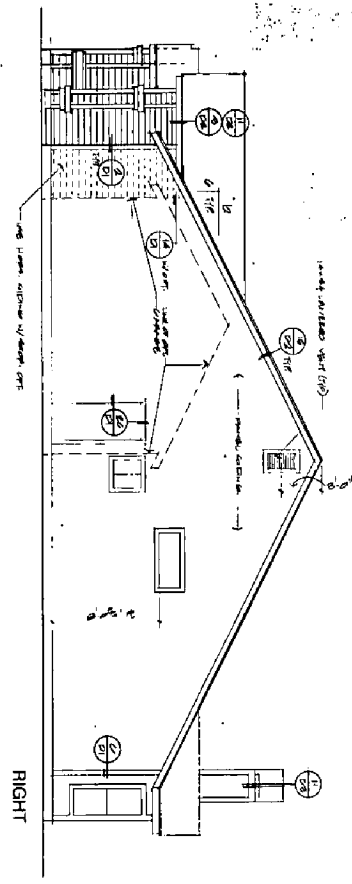
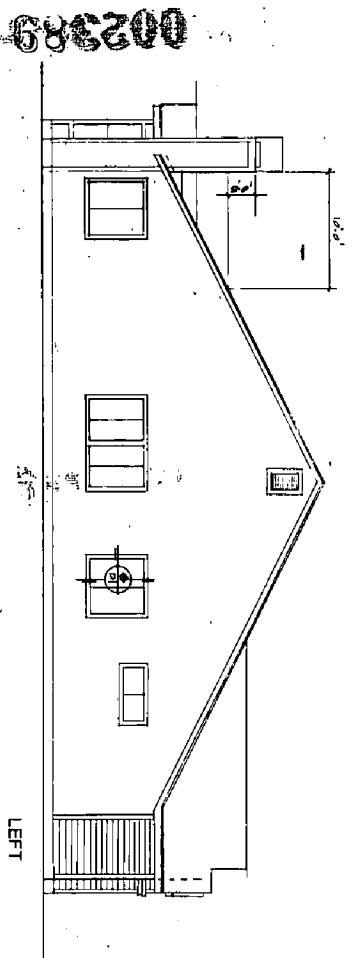
EXHIBIT C-2

ELEVATIONS

2385

PROJECT NO. 155  
SHEET NO. 155-110  
DATE: 11-11-10

002385  
1/4" = 1'-0"



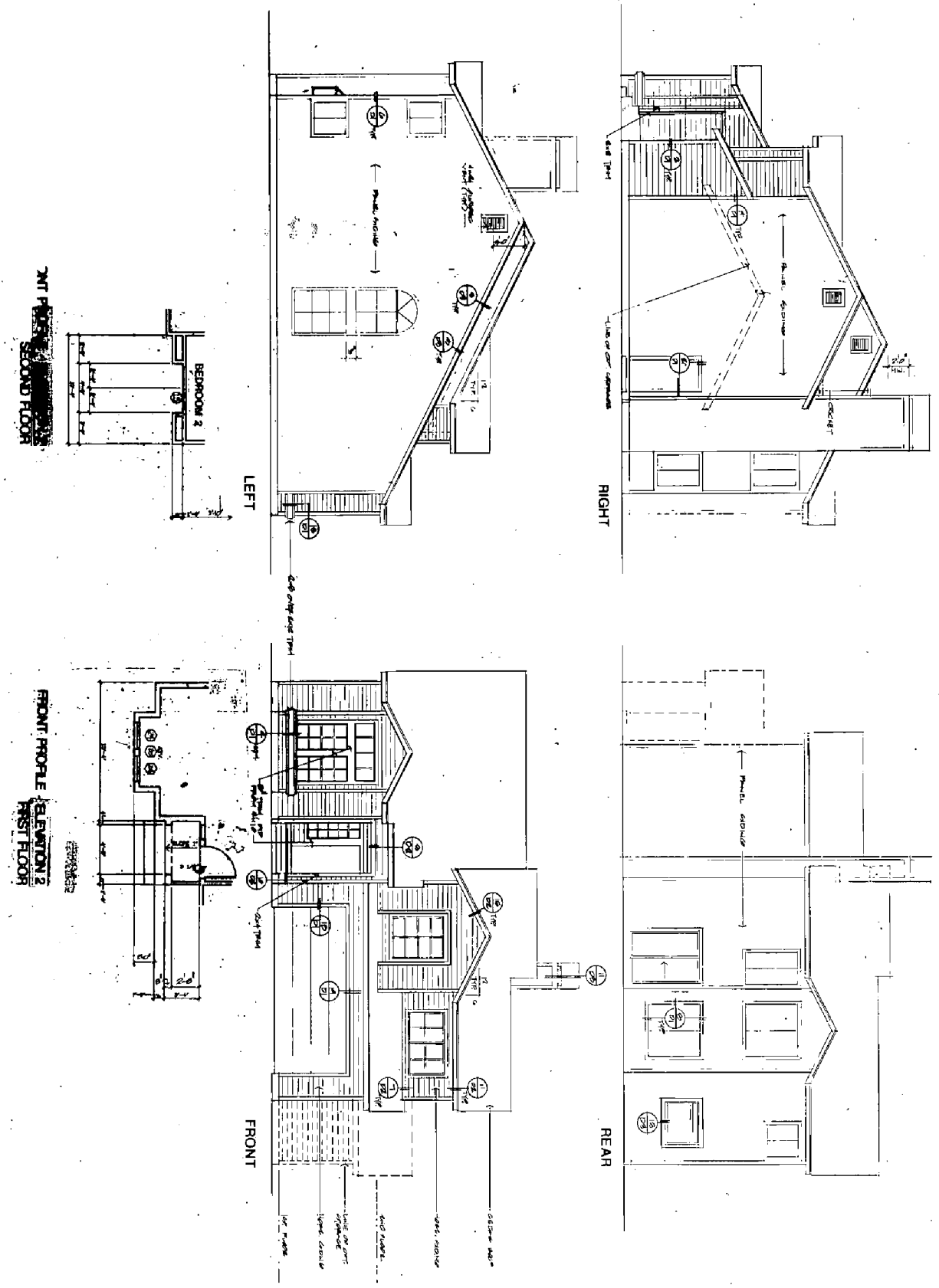
RICHARD C. HANDLEY, INC.  
ARCHITECTS  
233 BROADWAY  
SAN FRANCISCO, CA 94133  
(415) 397-2850

LAGUNA VERDE  
DI LORETO CONSTRUCTION

PLAN B  
ELEVATIONS  
ELEVATION 2

1/4"

1/4" = 1'-0"



INT PLAN SECOND FLOOR

FRONT PROFILE ELEVATION 2 FIRST FLOOR

EXHIBIT C-3  
ELEVATIONS

PROJECT NO. 110-000  
DATE: 11/10/00  
DRAWING NO. 3.00



RICHARD C. HARKEN, AIA  
VICTOR A. HERRING, AIA  
RSH ARCHITECTURE PLANNING  
222 BROADWAY  
SUITE 1000  
SAN FRANCISCO, CA 94111  
(415) 397-2280

LAGUNA VERDE  
DI LORETO CONSTRUCTION

PLAN C  
ELEVATIONS  
ELEVATION 2

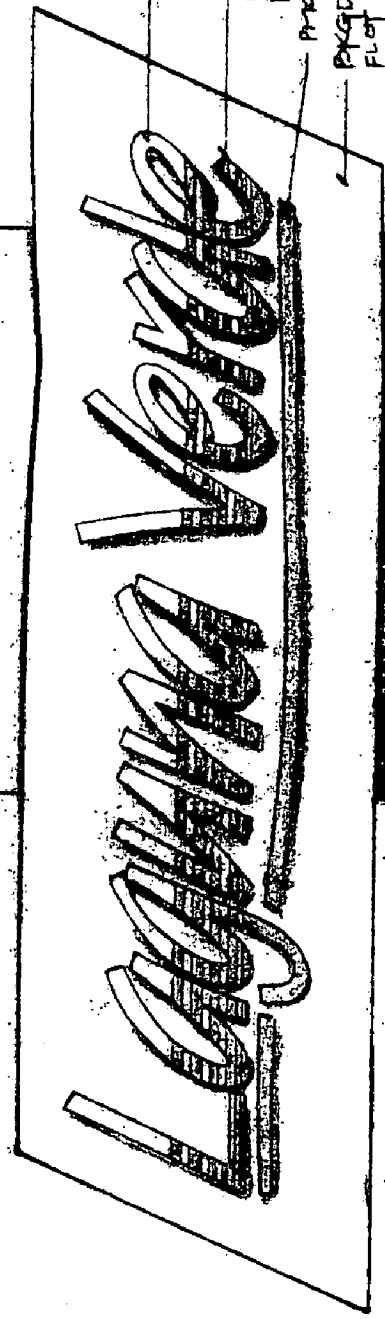
1/4"



EXHIBIT D  
SIGN

6'-9"

8'-0"



22"

26"

Painted Finish Photo 424c

TEXCOAT FINISH PHOTO # 424c

4'-6"

002392

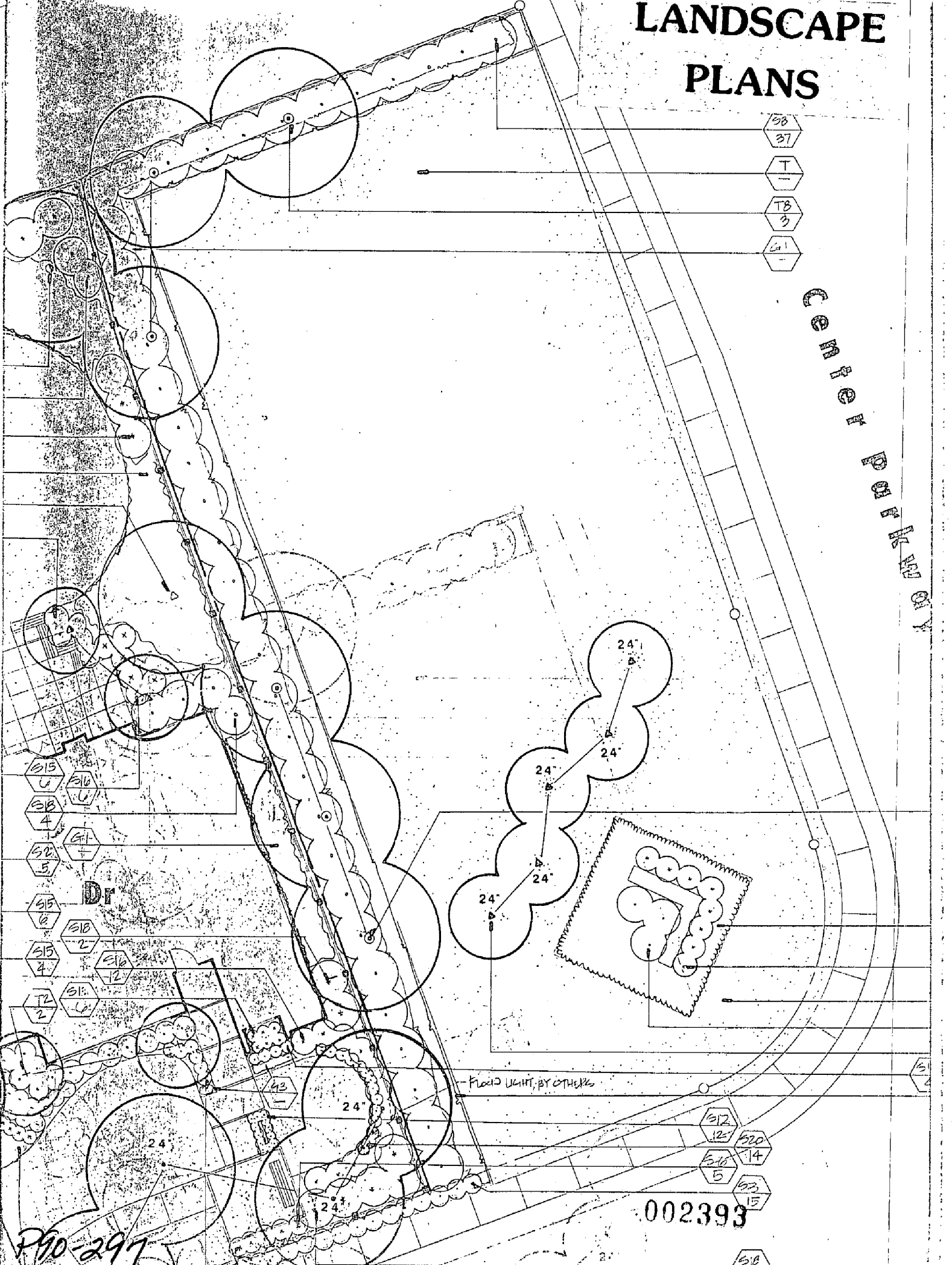
MAIN 10 OUGHT D/F  
ONSET METAL CO.

1"

# LANDSCAPE PLANS

Center Parkway

- 58
- 37
- T
- TB
- 3
- 61
- 



- 515
- U
- 516
- U
- 518
- 4
- 517
- +
- 519
- 5
- 515
- 6
- 518
- 2
- 515
- 4
- 516
- 12
- 517
- 6
- 518
- 2
- 519
- 2

Dr

- FLOOD LIGHT BY OTHERS

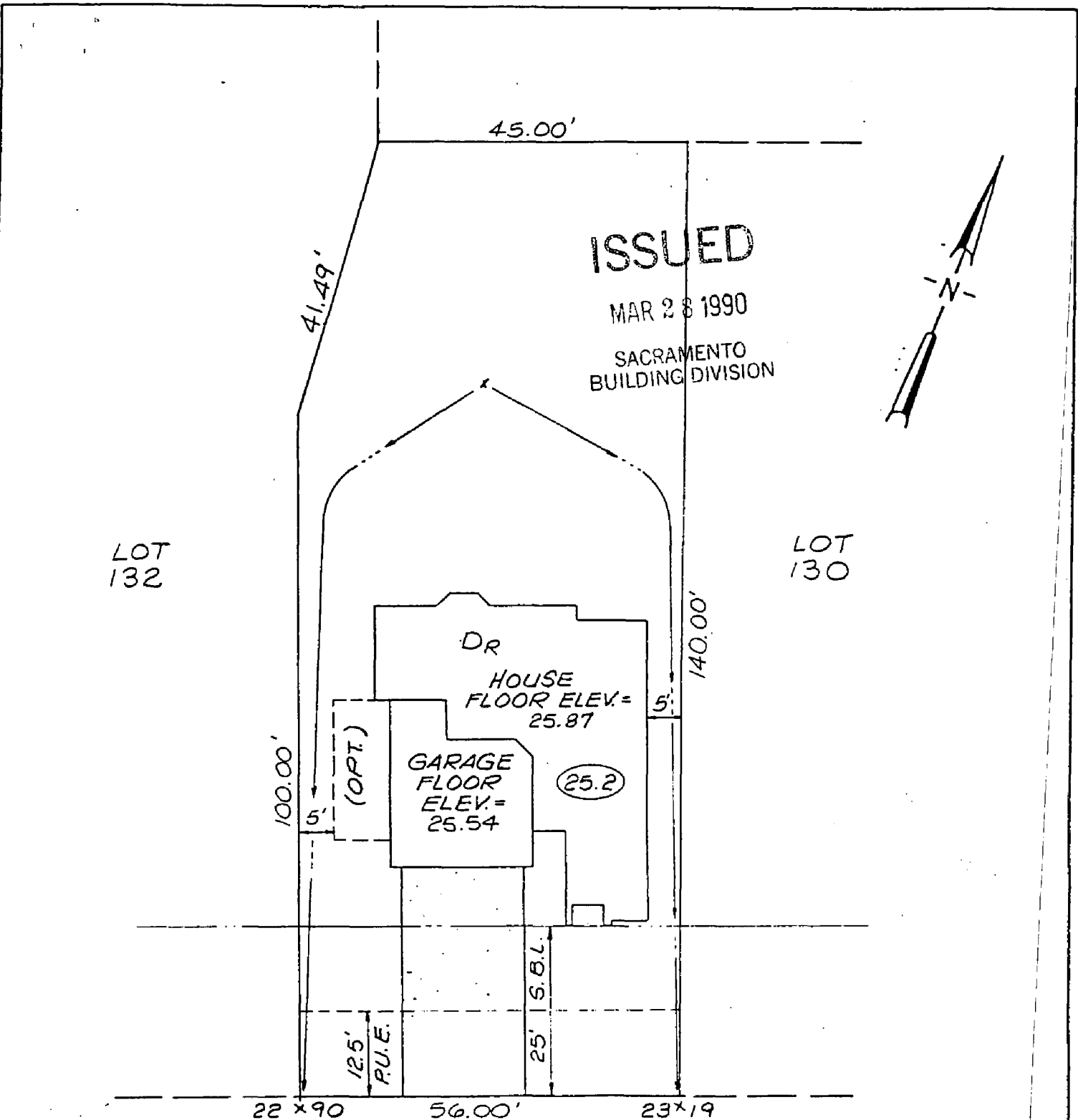
- 512
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- 517
- 15

002393

P90-297

518

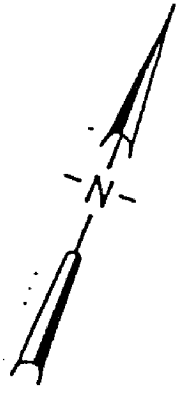




**ISSUED**

MAR 28 1990

SACRAMENTO  
BUILDING DIVISION



LOT  
132

LOT  
130

DR

HOUSE  
FLOOR ELEV. =  
25.87

GARAGE  
FLOOR  
ELEV. =  
25.54

(25.2)

100.00'  
5'  
(OPT.)

140.00'

12.5'  
P.U.E.

25'  
S.B.L.

22 x 90

56.00'

23 x 19

HERMITAGE WAY NOTE: MIN. 1% SLOPE AWAY FROM BUILDING AND IN SWALES

Di Loreto  
CONSTRUCTION & DEVELOPMENT, INC.  
1425 EAST GREG STREET  
SPARKS, NEVADA 89431  
**LAGUNA VERDE**  
SUBDIVISION  
COUNTY OF SACRAMENTO, CALIFORNIA

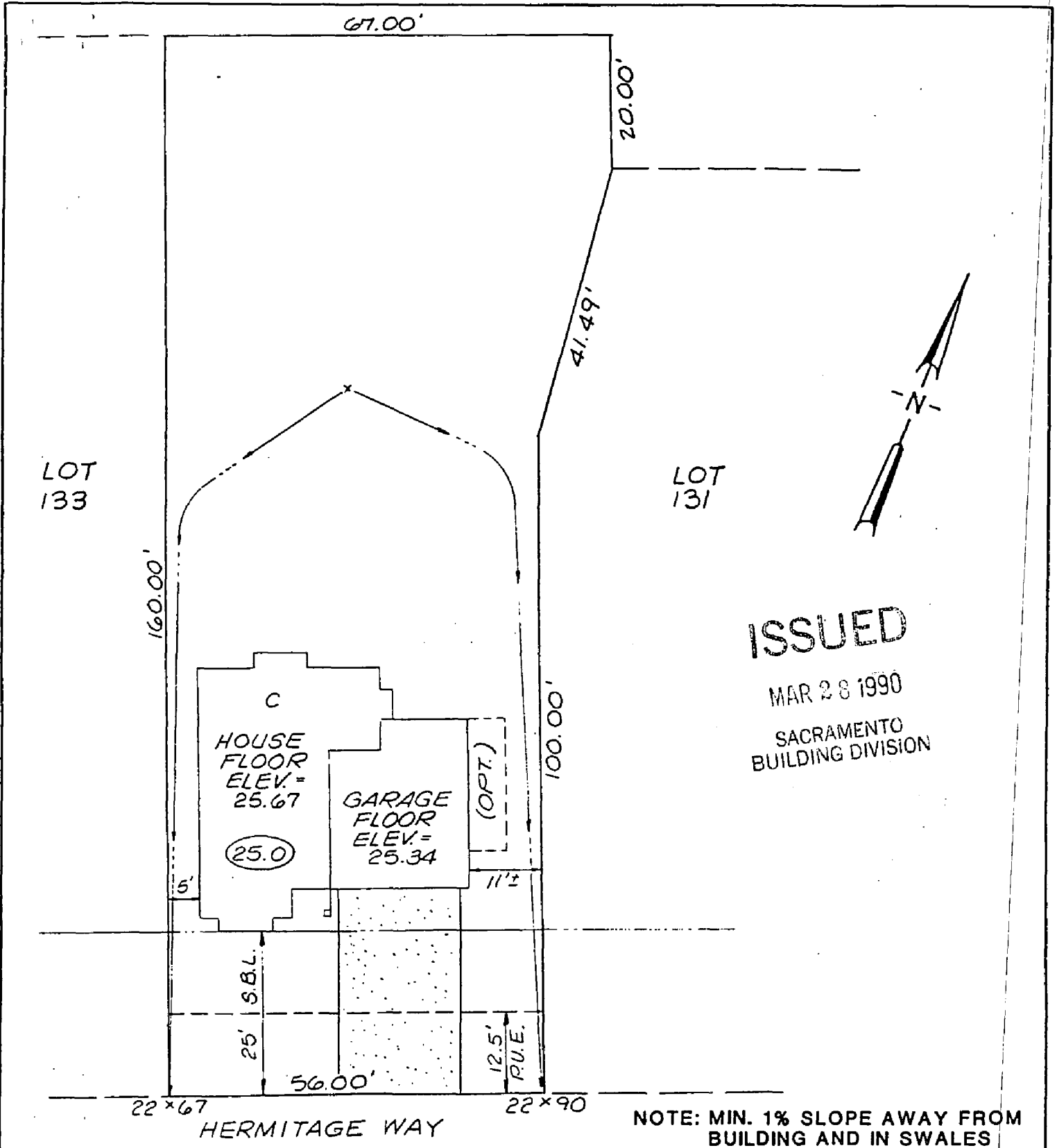
**KASL**  
CONSULTING ENGINEERS, INC.  
Civil-Environmental (916) 929-8127  
4200 North Freeway Blvd., Suite 1  
Sacramento, Ca. 95834

LOT NO.

**131**

SCALE: 1" = 20'

002395



Di Loreto  
 CONSTRUCTION & DEVELOPMENT, INC.  
 1425 EAST GREG STREET  
 SPARKS, NEVADA 89431  
**LAGUNA VERDE**  
**SUBDIVISION**  
 COUNTY OF SACRAMENTO, CALIFORNIA

**KASL**

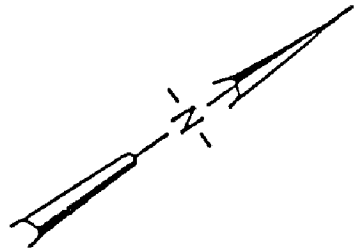
CONSULTING ENGINEERS, INC.  
 Civil-Environmental (916) 929-8127  
 4200 North Freeway Blvd., Suite 1  
 Sacramento, Ca. 95834

SCALE: 1" = 20'

LOT NO.

**132**

**002396**



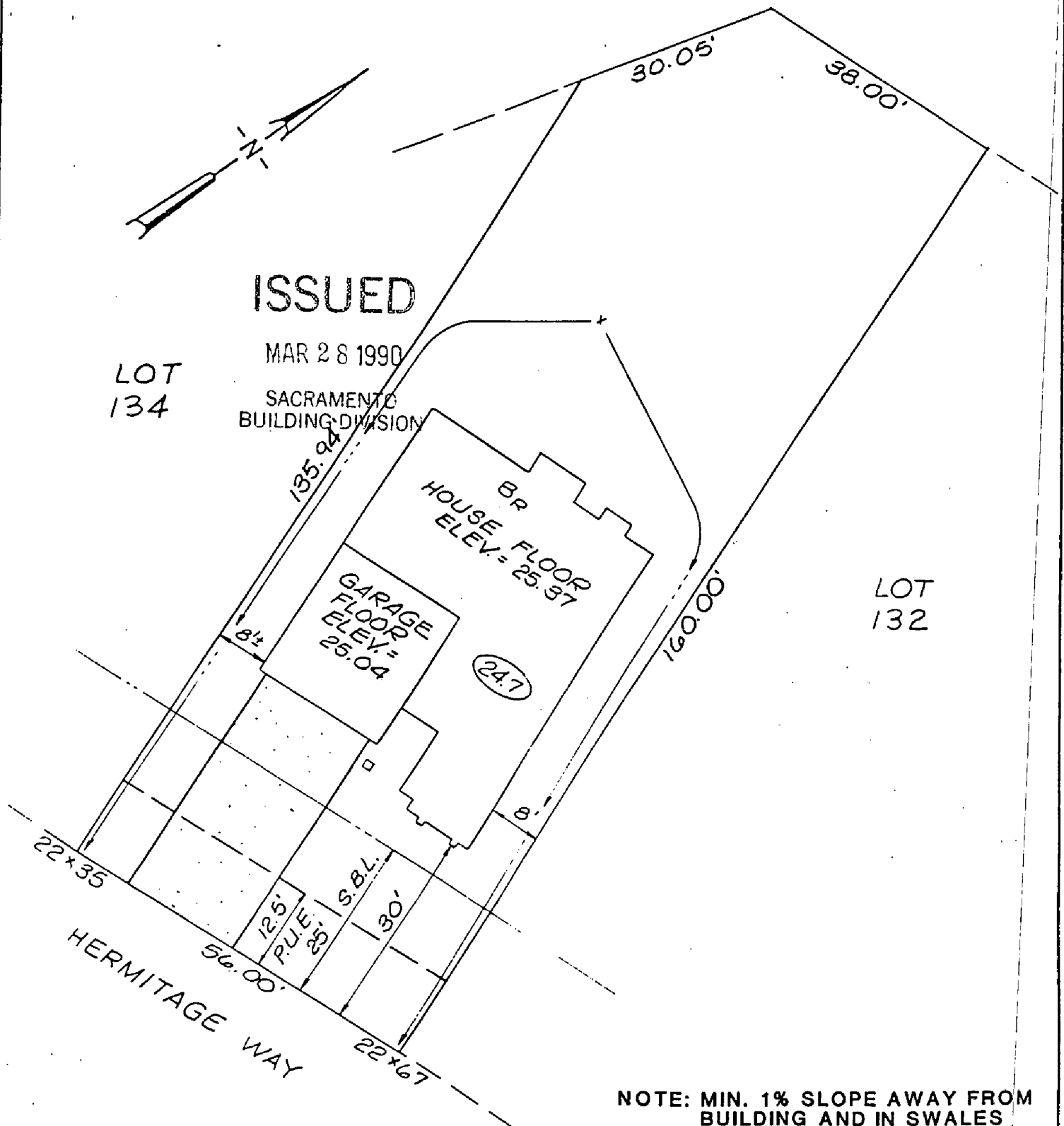
**ISSUED**

MAR 28 1990

SACRAMENTO  
BUILDING DIVISION

LOT  
134

LOT  
132



NOTE: MIN. 1% SLOPE AWAY FROM  
BUILDING AND IN SWALES

Di Loreto  
 CONSTRUCTION & DEVELOPMENT, INC.  
 1425 EAST GREG STREET  
 SPARKS, NEVADA 89431  
**LAGUNA VERDE**  
**SUBDIVISION**  
 COUNTY OF SACRAMENTO, CALIFORNIA

**KASL**

CONSULTING ENGINEERS, INC.  
 Civil-Environmental (916) 929-8127  
 4200 North Freeway Blvd., Suite 1  
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SCALE: 1" = 20'

LOT NO.

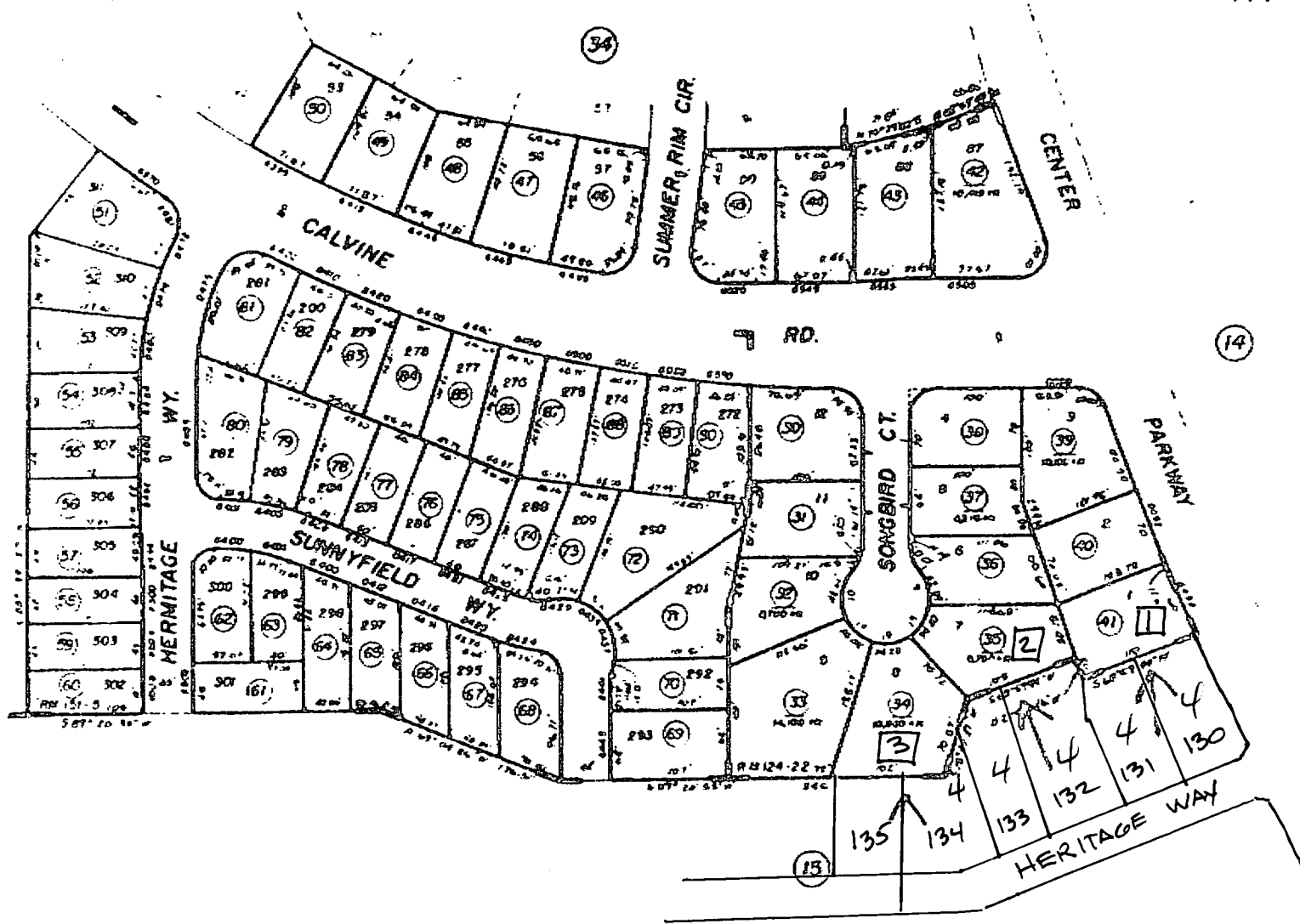
**133**

**002397**



POR. SEC'S. 21&22, T.7N., R.5E., M.D.B. & M.

117-45



002399

262069

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117-0900-008