



CITY OF SACRAMENTO
CALIFORNIA

PLANNING AND BUILDING
DEPARTMENT
(916) 264-5381

1231 I STREET
ROOM 200
SACRAMENTO, CA
95814-2998

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD**

FILE: P00-121

PREVIOUS FILE NUMBER(S): P95-085, P97-043, P98-133, P99-022, and P99-039

PROJECT NAME: Northborough Village 3-2

PROJECT LOCATION: Northeast side of Maybrook Drive, west of Northborough Drive and south of Club Center Drive.

ASSESSOR'S PARCEL NUMBER(S): 201-0340-007

APPLICANT'S NAME/ADDRESS: US Home (Mitch Young)
2366 Gold Meadow Way, Suite 100, Gold River, CA 95670
(916) 858-3900

APPROVAL: This Planning Director's Special Permit (PDSP) approval is for **82 lots** in Northborough Village 3-2, within Northborough Planned Unit Development (PUD). After approval of the PDSP, the following entitlements are required prior to construction of the residential development: 1) Building Permits. (An existing model home complex will be used for this new approval.)

PROJECT INFORMATION:

Zoning -	R-1A-PUD	Range in House Size -	1,633 to 2,546 sf
Typical Lot -	50 feet x 105 feet	Range in Price -	\$180,000-225,000
Typical Lot Size -	5,250 square feet	Number of Models -	6 (plus options)
Number of Lots -	82 lots	Number of Elevations -	3
Gross Acres -	14.497 acres	No. of Color Schemes -	23 (total)
Net Acres -	11.612 acres		
Net Density -	7.1 du/na		

BACKGROUND: On October 24, 1996, the Planning Commission approved the Tentative Master Parcel Map and Tentative Subdivision Map - Phase I for the Northborough project; and on December 3, 1996, the City Council approved the Development Agreement, Plan Amendments, Rezone to be consistent with the North Natomas Community Plan (NNCP), and a PUD Designation, including the PUD Schematic Plan (P95-085). The PUD Guidelines for the Northborough Neighborhoods were approved by City Council on August 7, 1997 in a separate application (P97-043). In approving the PUD Guidelines, the Council determined that a Planning Director's Special Permit, in lieu of a Planning Commission Special Permit, was

required for single family / two family residential development within the PUD. The PUD Guidelines have been subsequently amended on January 21, 1999 and March 25, 1999 (P98-133 and P99-022, respectively), primarily with respect to setback and lot coverage requirements.

The applicant is requesting approval of a Planning Director's Special Permit for five previously approved single family house plans, plus an additional new house plan (with three variations in size), on 82 lots in Northborough Village 3-2. The previous approval was for five house plans on 70 lots in Northborough Village 3-1 (P99-039).

PROJECT DETAILS:

Previously Approved House Plans: Table 1 below provides information for each of the five previously approved house plans.

**Table 1
PREVIOUSLY APPROVED HOUSE PLANS**

Plan	Stories	Bedrooms	Garage Stalls	Square Footage (House/ Garage/ Porch)	Porch (sf)	Relationship of Garage to House	% Lot Coverage
1633	1	3	2	(1,633 / 427 / 0)	0	garage projects 12'	40%
1760	1	4	2	(1,760 / 427 / 64)	64	garage projects 17'-6"	43%
2129	2	3	2	(2,129 ¹ / 462 / 56)	56	garage projects 2'	34%
2301	2	3	2	(2,301 ² / 405 / 115)	115	garage projects 7'	34%
2546	2	4	2	(2,546 ³ / 632 / 54)	54	garage projects 14'-6"	38%

- Notes: 1) The first floor square footage used to calculate lot coverage for Plan 2129 is 1,281 sf.
 2) The first floor square footage used to calculate lot coverage for Plan 2301 is 1,249 sf.
 3) The first floor square footage used to calculate lot coverage for Plan 2546 is 1,335 sf.

All of the five house plans described in the table above have been previously approved for 70 lots in Northborough Village 3-1 (P99-039). The new application (P00-121) proposes to duplicate these same five house plans without modification on 82 lots in Northborough Village 3-2, as well as to add an additional plan that will be described in detail below. The new subdivision is directly adjacent to the previous approval, and is therefore an extension, with modification, of the existing subdivision (see Vicinity Map).

The previous approval of these house plans included a condition on Plan 1760 restricting it to corner lots only, because of the diagonal orientation of the front door halfway back along the street side elevation and an excessively forward projecting garage relative to the living space of the house; and also a condition on Plan 2546 restricting it to interior lots only, because it features a side-entry garage and the need to locate the driveway away from the corner of the intersection. The same restrictions will be imposed by the conditions on the new approval (P00-121).

Please see the previous staff report for Village 3-1 (P99-039) for additional details, exhibits, and discussion of these five house plans.

New House Plans: Table 2 below provides information regarding the new house plan and its variants. The square footage given is the total living space provided by the applicant. Also note that a negative value under Garage Recess indicates that the garage projects out in front of the house instead of being recessed; and a negative value under Porch Projection indicates that the porch is recessed behind the forward most part of the house (or garage) rather than projecting out in front.

**Table 2
NEW HOUSE PLANS**

	House Plan Model Number	Square Footage	No. of Stories	No. of Bedrms	Garage Stalls	Max House Dims		Garage Recess	Porch Projection
						(width)	(depth)		
1	1725	1725	1	3	2	36.67	63.00	-6.00	2.00
2	1857	1857	1	4	2	36.67	68.83	-6.00	2.00
3	2072	2072	1	4	2	38.00	71.33	-5.00	2.00

The new house plan is provided with three variants in size created by the expansion of depth and width dimensions and the addition of another bedroom. From the basic smallest version (Plan 1725), the first variant (Plan 1857) is created by pushing the master bedroom rearward and reworking room dimensions to provide a fourth bedroom; and the other variant (Plan 2072) is created by expanding Plan 1857 in width to provide larger rooms in an otherwise unaltered floor plan. In general, the arrangement of rooms in the house and the outward appearance of elevations remain the same on all three variants of this house plan.

Elevations, Materials, and Colors: Three elevations will be provided for each house plan as conditioned on the previous approval (P99-039), with the same architectural themes and treatments on the new plans as on the old ones. The previous approval specifically required the provision of a third elevation treatment distinguished with the use of wood siding and brick, and these same treatments will be carried forward to the new village. The same color options provided for the previous approval in Village 3-1 will be offered again for Village 3-2, with the same veneer and roofing materials. Enhanced side and rear elevations will be required as conditioned, whenever these elevations face a public street, park, or other public space.

Height, Lot Coverage, and Setbacks: One and two story homes are proposed for all lots in the subdivision, and this is in compliance with the maximum of two stories allowed by the PUD Guidelines.

Lot Coverage: The amended PUD Guidelines allow a maximum lot coverage of 45 percent for single-story homes and 40 percent for two-story homes, with allowances for porches and recessed garages on both. However, no more than 50 percent of all lots in the subdivision may exceed 40 percent lot coverage. Front porch area is not counted toward lot coverage, and only half of the area of garages that are recessed four feet or more behind the forward most living area of the house is counted. There are no house plans in this application that qualify for an allowance for recessed garage.

Table 3 below provides lot coverage analysis for each of the three variants of the new house plan. The lot coverages shown in Table 3 are calculated based on the typical lot size of 5,250 square feet: first using the total footprint area, which includes all first floor living space, garage, and front porch areas; and secondly, taking into consideration the allowance for all front porch areas.

As shown in Table 3 below, the new single-story Plan 2072 will not fit on the typical lot with respect to lot coverage, even with allowance for the front porch. Minimum lot area to provide the maximum allowed 45 percent lot coverage for this plan is 5,487 square feet, and this takes into consideration the allowance for all front porch area. There are a total of 32 lots less than 5,487 square feet in the subdivision, while all other lots (a total of 50) are large enough for Plan 2072 with respect to lot coverage. Staff is not concerned

that this plan will be unduly limited by this restriction, especially since it is merely the largest variant of one particular house plan, and since all of the smaller variants will fit on any lot in the subdivision. The smallest lot in the subdivision, at 5,149 square feet in area, is smaller than the typical lot; however, with the exception of Plan 2072 noted above, all plans submitted (both old and new) will fit on this smallest lot, as well as the typical lot and all lots in the subdivision, with respect to lot coverage.

**Table 3
LOT COVERAGE**

		GROUND FLOOR AREAS (SF)								
	House Plan Model Number	Living Space	Front Porch	Garage Area	Optional Area	Total Footprint	Allowance Area	% Lot Coverage	% with Allowance	
1	1725	1721	148	403	0	2272	148	43%	40%	
2	1857	1857	148	403	0	2408	148	46%	43%	
3	2072	2066	137	403	0	2606	137	50%	47%	

Setbacks: Dimensions of the typical lot in Northborough Village 3-2 are 50 feet wide by 105 feet deep, which is the same as in the previous approval for Northborough Village 3-1 (P99-039). The setbacks required by the Northborough PUD Guidelines are shown in Table 4 below.

There are some lots in the subdivision that are slightly less than 105 feet in depth; however, only Plan 2072 will be restricted by a lot depth of less than 105 feet. This restriction will limit Plan 2072 from an additional nine lots, in addition to those lots without sufficient area to meet lot coverage requirements. In addition, some of the lots are slightly tapered, from narrower than 50 feet at one end to wider than 50 feet at the other; however, if any of these lots are too narrow to accommodate the 40 foot wide plans, they will certainly be wide enough to accommodate one or more of the variants of the new house plan, which are less than 40 feet wide. Otherwise, more than one of the house plans submitted will fit on any lot in the subdivision with respect to setbacks.

**Table 4
SETBACKS**

Minimum Setbacks	Front	Rear	Side	Street Side
Living Area	16	15	5	12.5
Porch	14	15	5	12.5
Garage	20	15	5	N/A

Corner Lots: There are nine corner lots in Northborough Village 3-2 (see Exhibit 1). As indicated earlier, Plan 1760 will be restricted to corner lots only, while Plan 2546 will not be allowed on corner lots. On corner lots, the driveway must be located away from the corner. All of the other house plans are acceptable on corner lots, as long as setback and lot coverage requirements are met.

Street Trees, Landscaping, Fencing and Walls: Street trees, landscaping, and fencing within Northborough Village 3-2 will be in accordance with the Northborough PUD Guidelines and as conditioned in this approval. Masonry walls are not required anywhere within this village; however, the side yard fencing for Lot 56 adjacent to the park should be wood fencing with top and bottom rails and steel posts as indicated on Exhibit 19 of the Northborough PUD Guidelines on page 41, and in any case should match the treatment provided for Lot 32 of Village 3-1 on the opposite side of the park. Otherwise, there is nothing unusual about the requirements in this village that need special mention or consideration.

ENVIRONMENTAL REVIEW:

Negative Declaration and Mitigation Monitoring Plan: On December 3, 1996, the City Council ratified a Negative Declaration for the original project (P95-085). Potentially significant environmental issues regarding Animal Life, Noise, Land Use, and Cultural Resources were discussed and mitigated in this document. The proposed project was analyzed in this previous environmental document. No new issues or new information is known that would trigger additional environmental analysis. Section 15162 of the California Environmental Quality Act Guidelines provides that an additional Negative Declaration (or Environmental Impact Report) need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. A Mitigation Monitoring Plan was prepared for the mitigation measures identified in the previous Negative Declaration. The applicant shall comply with the Mitigation Monitoring Plan, when applicable to the proposed project.

Air Quality Mitigation Strategy: The master developer of Natomas Park, which includes Northborough PUD and this village, has submitted an Air Quality Mitigation Plan. The Plan was adopted by Planning and Public Works. The homebuilder of this village is responsible for the following mitigation measures specified in this Plan: 1) participation in the North Natomas Transportation Management Association (TMA); 2) install energy efficient windows, low emission water heaters, gas or electric outlets in the backyard, and ISDN wiring and connections (or current technological equivalent) in all the homes; and 3) provide information to home buyers about electric vehicles and lawn equipment and the TMA.

COMMENTS:

Public notice was mailed to adjacent property owners by the applicant on October 7, 2000. No comments have been received from the public notice. The project plans were originally presented by the applicant to the Natomas Community Association (NCA) on February 16, 1999, and NCA verbally commented at that time that the plans are acceptable as proposed. Natomas Park Design Review Committee (DRC) review and approval of the new house plan was completed on September 19, 2000, and DRC review and approval of the previously approved house plans is documented in Lennar Communities' letter of March 29, 1999.

The Public Works Department requires that a minimum 20 foot long driveway be provided for each house. Also, Public Works staff has reviewed and approved the Transportation Systems Management and Air Quality (TSM/AQ) Plan for Natomas Park, including Northborough PUD. TSM measures are being provided with these plans, and are included as conditions of approval.

Planning staff considers the new house plan in its three variants to be a very desirable addition to improve the mix of plans previously offered. The limitation of Plan 1760 to only corner lots left Plan 1633 as the only single-story plan available on interior lots; and as a result, Plan 1633 has become a somewhat overly dominating plan throughout the previous approval in Village 3-1. With its large front porch extending out slightly in front of the garage, the new house plan is much more in keeping with City Design Principles for Single Family Residential than the Plan 1633, which was overly garage forward and without a porch. Staff favors encouraging the new plan in Village 3-2, while limiting Plan 1633 to a smaller percentage of the overall number of units.

None of the house plans in this application have the garage recessed behind the living space of the house. However, most of them are in general compliance with the Single Family Residential Design Principles, recently adopted by City Council on September 7, 2000 (Resolution No. CC2000-523), in that three of them provide a usable porch, though only one is even with the garage, while the other two are recessed to some degree; one of them provides a side-entry garage, and none of them are 3-car garages; the three two-story houses provide second floor living area over large portions or most of the garage; and the single-story Plan

1760, as restricted to corner lots only, provides a well defined entry structure facing the street side to compensate for the garage dominance of the front elevation of the house. Only the smallest single-story Plan 1633 lacks mitigation for being a garage forward house plan. Nevertheless, the applicant is advised that future applications must provide greater compliance to the City's adopted design principles without mitigation, providing recessed garages and making more effective use of the lot coverage and setback incentives to provide living space in front of the garage door.

Two of the previously approved house plans (Plans 2129 and 2301) provide usable porches; and as constructed in Village 3-1 and observed in the field, these porches could make a greater presence felt along the streetscape with addition of porch railings appropriately designed to complement the architectural style of the elevation treatments offered on these plans. Staff recommends offering porch railings as an option on all house plans that provide porches; and furthermore, staff suggests that this option be extended to home owners in Village 3-1, if they are interested in adding them. However, while this approval will be conditioned to require such an option, in order to maintain maximum flexibility and variety within the neighborhood, staff does not favor requiring porch railings on all porches in the subdivision.

In other respects, staff finds that the proposed house plans comply with all applicable General Plan, Community Plan, and Zoning Ordinance requirements, and they are consistent with the amended Northborough PUD Guidelines and Schematic Plan.

ACTION:

The Planning Director approves the requested Planning Director's Special Permit based on the following findings and subject to the following conditions:

Findings:

1. The proposed residential development is consistent with the objectives of the General Plan and the 1994 North Natomas Community Plan in that:
 - o the project is consistent with the General Plan land use designations;
 - o the project is consistent with the 1994 North Natomas Community Plan land use designations;
 - o the project is consistent with policies related to land use, including residential densities and open space proximity;
 - o the project begins to develop planned North Natomas neighborhoods each focused on an elementary school, with a variety of housing densities and types, and commercial, civic, transit, and park uses close by; and
 - o the project advances City transportation management and air quality goals.
2. The proposed residential development is consistent with the adopted PUD Guidelines and Schematic Plan for the Northborough PUD in that the housing designs provided comply with requirements related to setbacks, height, and lot coverage and meet the purposes and criteria stated in the City Zoning Code, Sections 17.180.010 and 17.180.020, in that the PUD facilitates mixed residential uses designed to assure that new development is healthy and of long lasting benefit to the North Natomas community and the City; and
3. The proposed residential development will not be detrimental to the public health, safety or welfare in that the single family residential development will be in harmony with the general purposes and intent of the City Zoning Code in that the approved elevations are well-designed; and that the proposed uses will not create a negative impact on any nearby sensitive uses.

Conditions:

1. Each previously approved house plan included in this PDSP approval for Northborough Village 3-2 (P00-121) shall be as approved in the Building Permits for Northborough Village 3-1; the design of the new house plan and its three variants included with this PDSP approval (Plans 1725, 1857, and 2072) shall conform substantially to the plans submitted and as shown on Exhibits 2, 3, and 4; and all of the house plans included in this PDSP approval, whether previously approved or not, shall be as conditioned in the previous PDSP approval (P99-039) and as follows:

- a. **Plan 1760** shall be allowed only on corner lots;
- b. **Plan 2546** shall be allowed only on interior lots;
- c. **Plan 2072** shall require a minimum lot size of 5,487 square feet to remain within the maximum lot coverage of 45% allowed in Northborough PUD for a single-story house plan;
- d. At least one example of the new plan in one of its three variants (Plans 1725, 1857, and 2072) shall be constructed in the first release, if not included as a new model within the existing model home complex;
- e. All of the house plans submitted and approved with this PDSP application shall be actively marketed and offered for sale within the subdivision/village(s) covered by this approval (P00-121); and in particular, the new plan in its three variants (Plans 1725, 1857, and 2072) shall be favored over the previously approved single-story Plan 1633 to such a degree that Plan 1633 shall be limited to no more than 25 percent of the single-story house plans constructed, and no more than 15 percent of the subdivision as a whole (note that this translates into a maximum of 12 houses built to Plan 1633, but only if there are a total of 48 or more single-story house plans constructed throughout Village 3-2; a total of less than 48 single-story house plans constructed throughout Village 3-2 will require fewer than 12 houses built to Plan 1633, accordingly);
- f. Three elevations shall be provided for all house plans: Elevation A (Mediterranean) shall have stucco standard; Elevation B (Contemporary) shall have stucco standard with a brick veneer option; and Elevation C (Traditional) shall have horizontal wood siding and brick standard;
- g. A porch railing option shall be offered on all those plans that provide a usable porch; specifically, the new Plans 1725, 1857, and 2072, and previously approved Plans 2129 and 2301; and these porch treatments shall be coordinated with the architecture of the respective elevations, subject to review and approval by Planning staff prior to the issuance of building permits;
- h. A total of twenty-three (23) color palette options shall be offered for each of the house plans as indicated on the color exhibits originally submitted for the previous approval on the US Home "Traditions" collection in Northborough Village 3-1 (P99-039);
- i. Roofing shall be concrete tile; the roof shall be finished with end and ridge caps; and roof pitch shall be no less than a 5 to 12 pitch;
- j. On corner lots, the driveway shall be located away from the intersection of streets; and
- k. None of the house plans may be placed on more than two adjacent/consecutive lots, and shall be different elevations when adjacent.

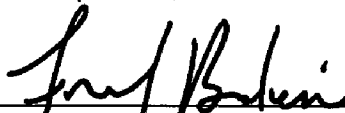
Any change in the design, materials, or colors shall be submitted to the Planning Director for review and approval.

2. Prior to development of any model homes, the applicant shall obtain a Zoning Administrator's Model Home Complex Special Permit.
3. The applicant shall obtain all necessary building permits prior to commencement of construction.
4. The applicant shall comply with the originally approved Mitigation Monitoring Plan (P95-085) on file at the Planning Division.
5. The Planning Director's Special Permit shall expire two years from date of approval.
6. Air Quality Mitigation: The applicant shall comply with the Natomas Park TSMAQ Plan for residential development, including but not limited to the following:
 - a. Participate in the North Natomas Transportation Management Association (TMA);
 - b. Install low nitrogen oxide emitting, and/or high efficiency water heaters;
 - c. Install gas or electric outlets in the backyard;
 - d. Install energy efficient dual-pane windows, and/or energy efficient windows treated with reflective coatings; and
 - e. Provide new homeowners with information regarding alternative travel modes.
7. Street Trees - Selection and placement of street trees shall be in accordance with the Northborough PUD Guidelines, including PUD Guidelines Exhibits 8 and 9, Master Landscape Plan - Street Tree Exhibit and Street Tree Matrix, on pages 22 and 23, and as follows:
 - a. Applicant shall provide and install an average of two 15-gallon size street trees per lot frontage, with an average spacing of 20' to 30' on center, as measured along the entire length of the street;
 - b. On corner lots, the street side yard also shall be planted with two 15-gallon size street trees, plus three accent trees selected from Northborough PUD Guidelines Exhibit 10, Recommended Trees, on page 24; and accent trees shall be a different species from the street trees;
 - c. If spacing is interrupted by street lights or driveways, the trees shall be re-spaced to accommodate required clearances while maintaining the required quantity of trees on average;
 - d. Location of street trees and accent trees shall conform to City standards for sight line requirements at intersections and driveways.
8. Landscaping - All landscaping will be subject to the review of the Natomas Park Design Review Committee (DRC), and shall be in accordance with the Northborough PUD Guidelines and as follows:
 - a. Front yard landscaping materials shall include, in addition to street trees: one 15-gallon accent tree, one 5-gallon specimen shrub, 20 1-gallon foundation and accent shrubs, turf, and ground cover at a maximum spacing of 12 inch on center with decorative bark;
 - b. Side yard landscaping shall include, in addition to street trees and accent trees: one 5-gallon specimen shrub, turf, and ground cover with a maximum spacing of 12 inch on center with decorative bark;
 - c. Plant materials shall be consistent with Northborough PUD Guidelines Exhibit 10, recommended plant lists, on pages 24 through 26;
 - d. All landscaping and planting shall conform to City standards for sight line requirements at intersections and driveways.
9. Fencing and Walls - All fencing and walls will be subject to the review of the Natomas Park DRC, and shall be in accordance with the Northborough PUD Guidelines and as follows:
 - a. There are no masonry walls required within this subdivision;
 - b. Wood fencing with steel posts and continuous top and bottom rails shall be provided on the east side of Lot 56, which sides on to the neighborhood park to the north of the village, as specified

on Exhibits 18 and 19 of the Northborough PUD Guidelines, and in any case, shall match the fencing provided on the west side of Lot 32 of Village 3-1, on the opposite side of the park, as well as the corresponding side yard fencing adjacent to this park within Village 1 to the north;

- c. Wood fencing with wood posts shall be provided elsewhere in the village per the PUD Guidelines;
 - d. All fencing visible to the public shall have a semi-transparent stain in a neutral tone to be specified by the Natomas Park Design Review Committee;
 - e. On corner lots, street side fence shall commence at the back corner of the house nearest to the street (excluding projections), leaving side elevation and landscaping exposed to the side street;
 - f. Side and rear yard fences up to six feet (6'-0") in height from house grade are allowed; but within the front setback area, no fence or wall shall be greater than 3'-6" in height; and all front and street side fencing shall have a minimum of 3 feet in front for landscaping;
 - g. All fencing and walls shall conform to City standards for sight line requirements at intersections and driveways.
10. Design Enhancements on Visible Elevations: Enhanced side and rear elevations shall be required whenever either of those elevations face a public street, school, park, canal, or other public space. This includes the street side elevation on all corner lots in the subdivision. There are nine corner lots that will require enhanced street side elevations; and in addition, enhanced side elevation shall be required for Lot 56, on the east side facing the park. Enhanced elevations shall include, at a minimum, "pop-outs" around windows and doors consisting of stucco over foam trim, finished with a texture that is different from the texture of the house; and a four foot return of materials on the side or rear elevation, as appropriate. On enhanced side and rear elevations, window treatments, roof lines, and materials shall match front facade in appearance and quality. All enhanced elevation treatments shall be shown on the plans submitted for building permit.
11. Driveways - Driveways shall have a pattern of score lines to minimize the expanse of concrete. "Hollywood style" driveways are encouraged with a minimum 2 foot 6 inch planter strip between the two driveways. A maximum of 40% of front yard setback area may be paved, per City Zoning Code; and this calculation (including front yard setback area, driveway area within the setback, and the percent covered by paving) shall be shown on all plot plans.
12. Garage: Each house plan shall provide at least one garage space with minimum *inside* dimensions of 10 feet wide by 20 feet long, as required by the City Zoning Code.

PREPARED BY: 
Philip Reed, Assistant Planner

APPROVED BY: 
Fred Buder, Senior Planner

APPROVED ON: 11/30/00
Date

Attachments:

Location Map

Vicinity Map

Exhibit 1: Site Plan

Exhibit 2: **Plan 1725** - (a) (b) and (c) Elevations, and (d) Floor Plan

Exhibit 3: **Plan 1857** - (a) (b) and (c) Elevations, and (d) Floor Plan

Exhibit 4: **Plan 2072** - (a) (b) and (c) Elevations, and (d) Floor Plan

Exhibit 5: Letter of Agreement

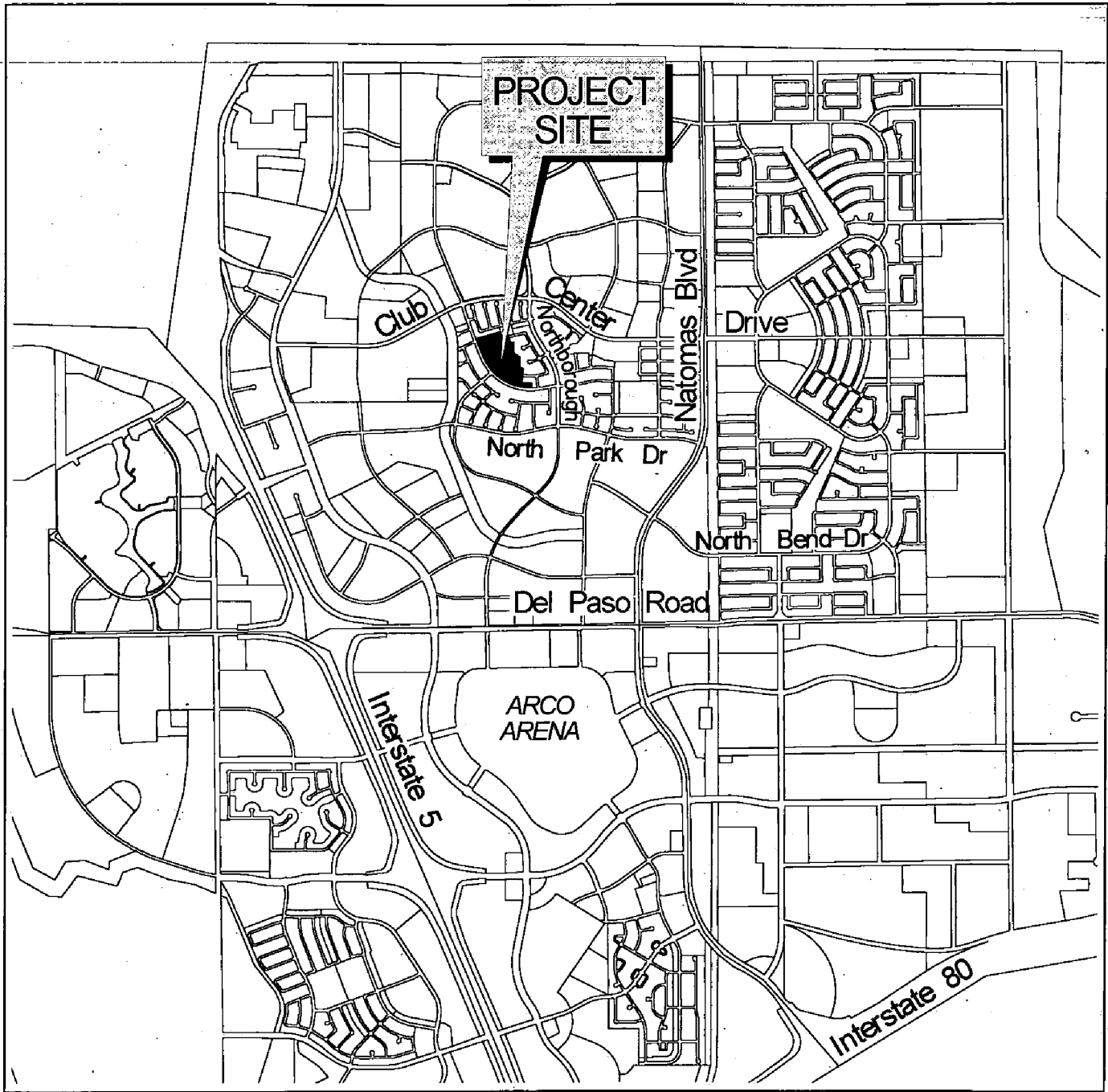
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cc: Applicant

Development Services - Building Division (2)

PDSP Binder

PUD Binder

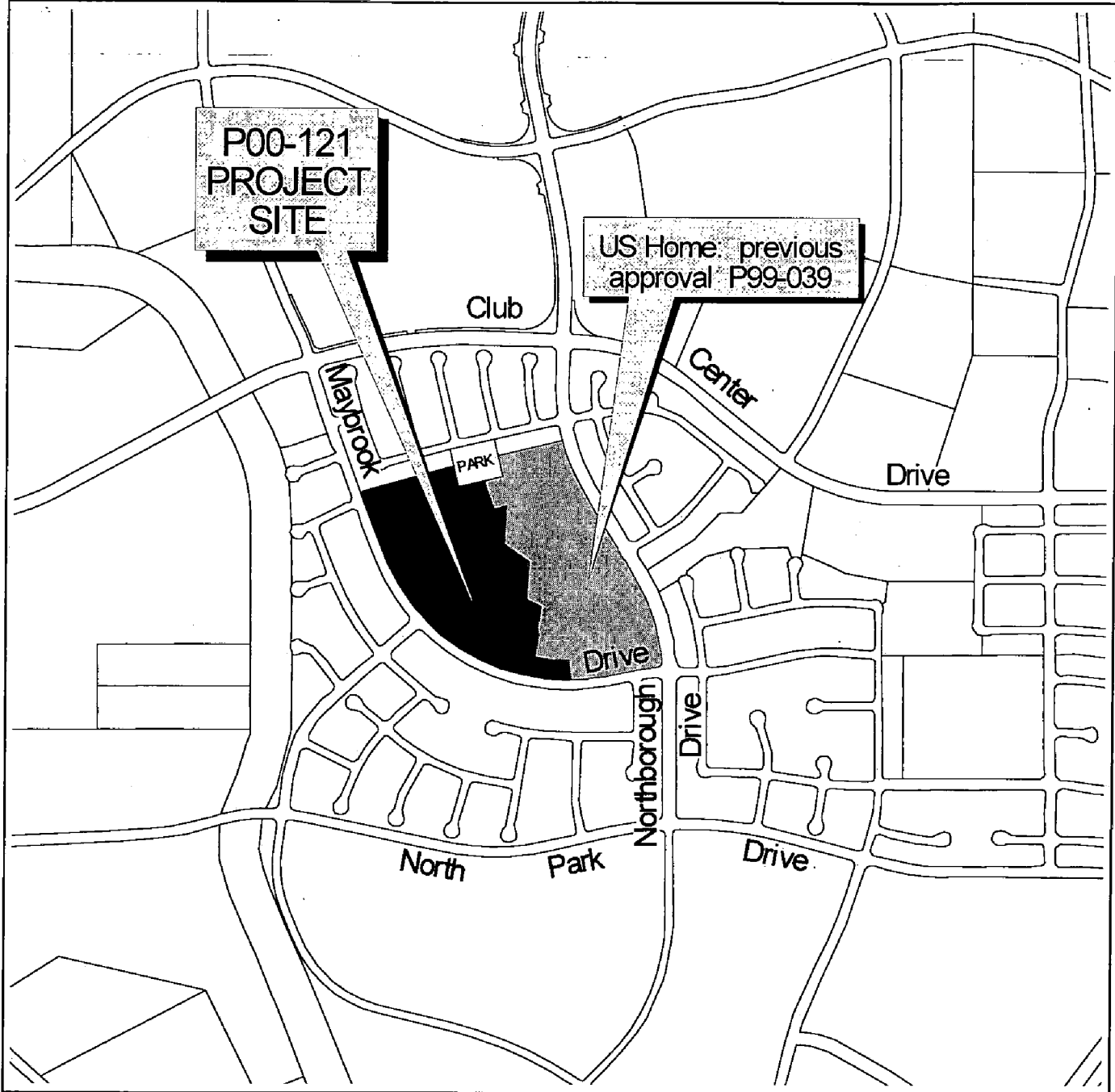


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Geographic
Information
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Location Map P00-121





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Vicinity Map P00-121



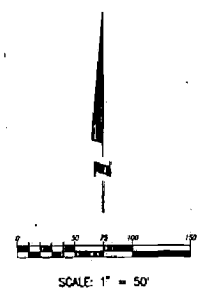
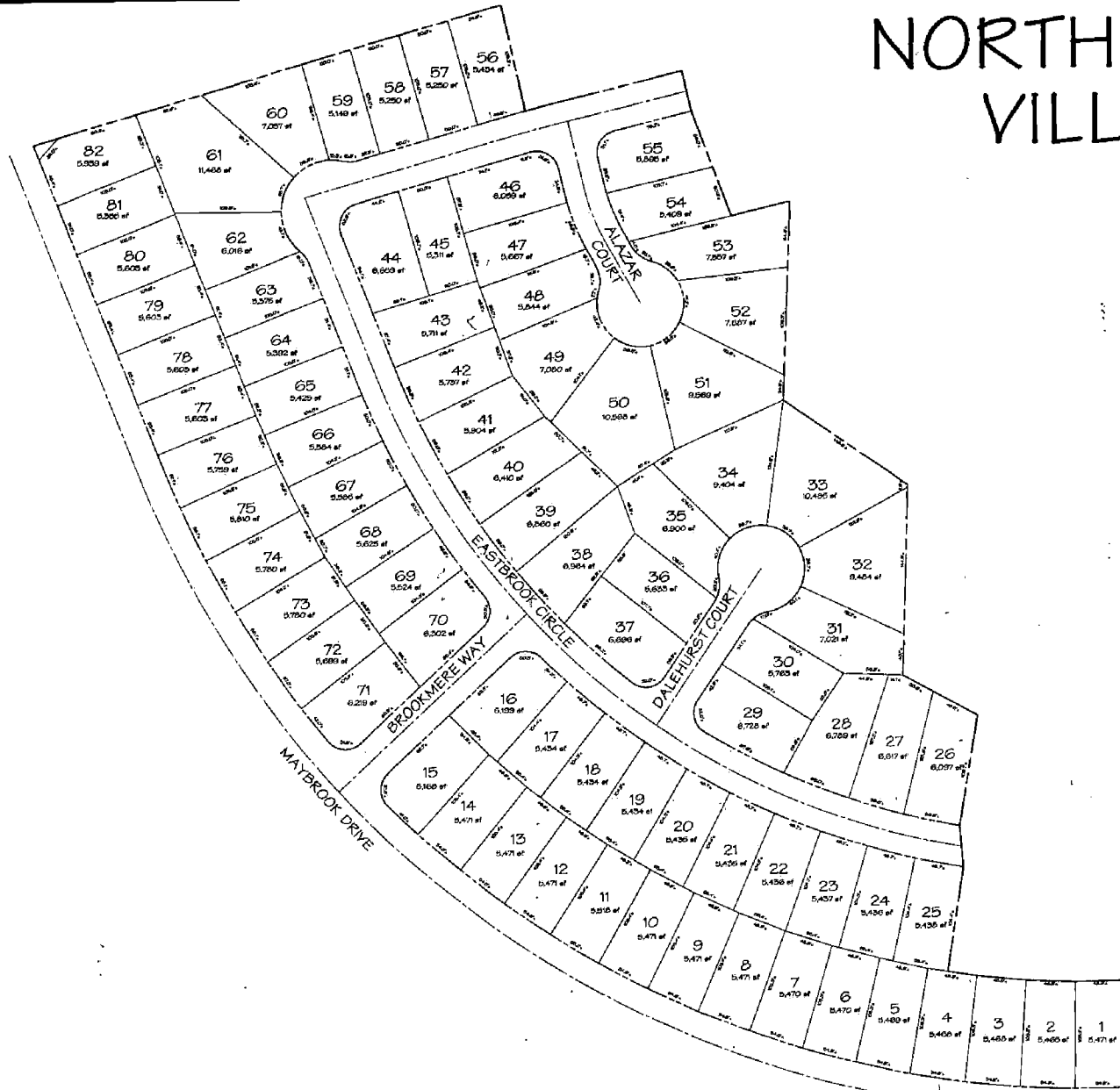
NORTHBOROUGH VILLAGE 3-2

MP00 121

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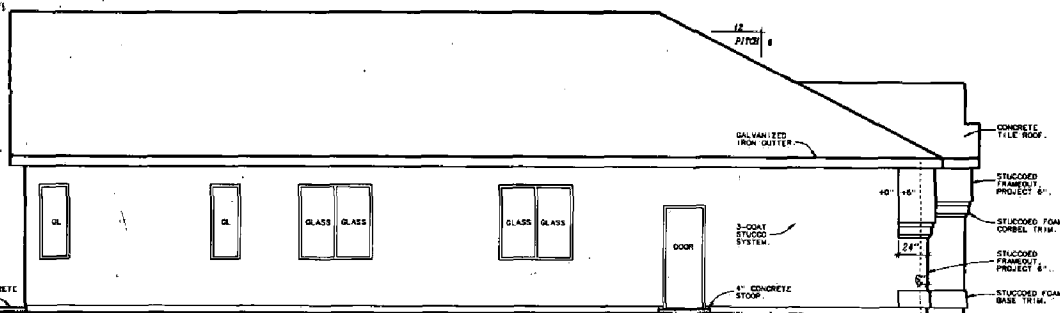
OCT 13

PLANNING SERVICES



Murray Smith
 Murray Smith & Associates
 Civil Engineering • Land Planning
 3110 Old Canal Drive
 Rancho Cordova, CA 95670 (916) 635-1511

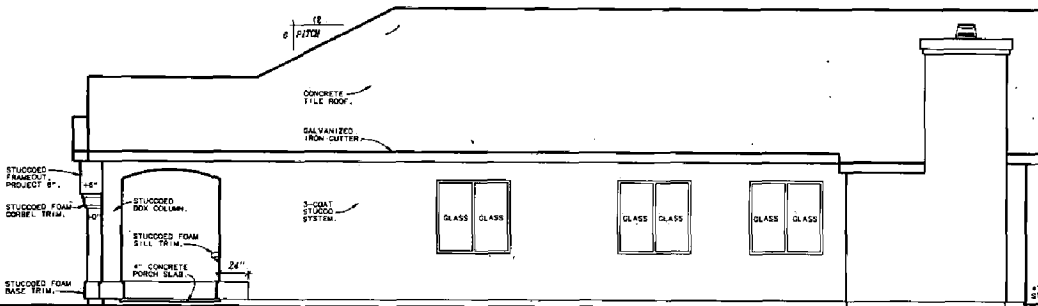
Exhibit 1 | Site Plan



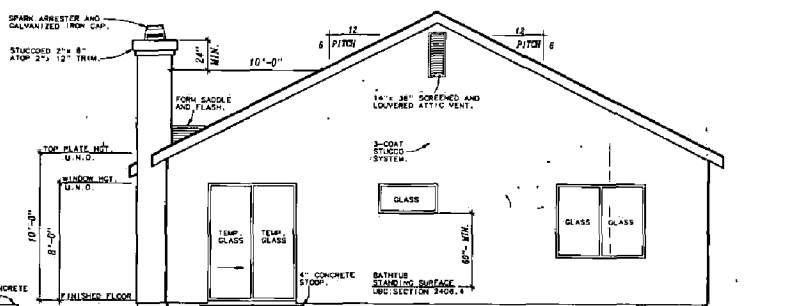
LEFT ELEVATION SCALE: 1/4"=1'-0"



FRONT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

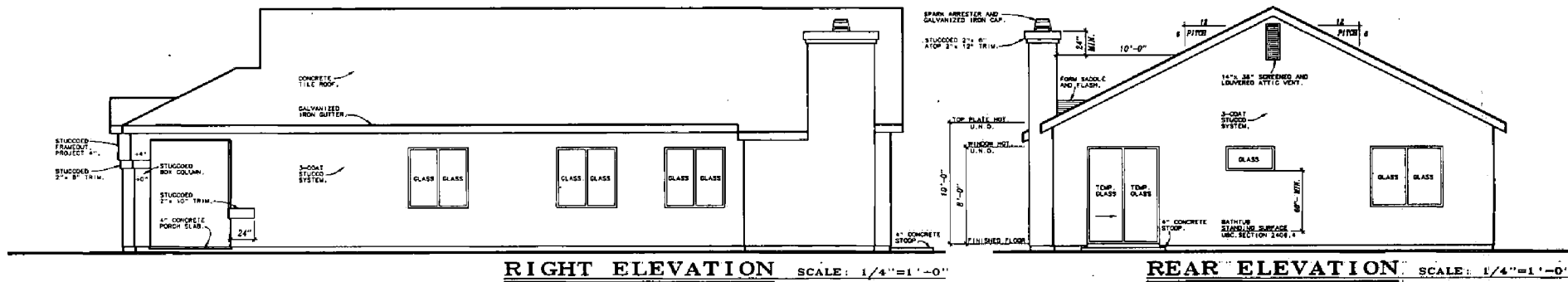
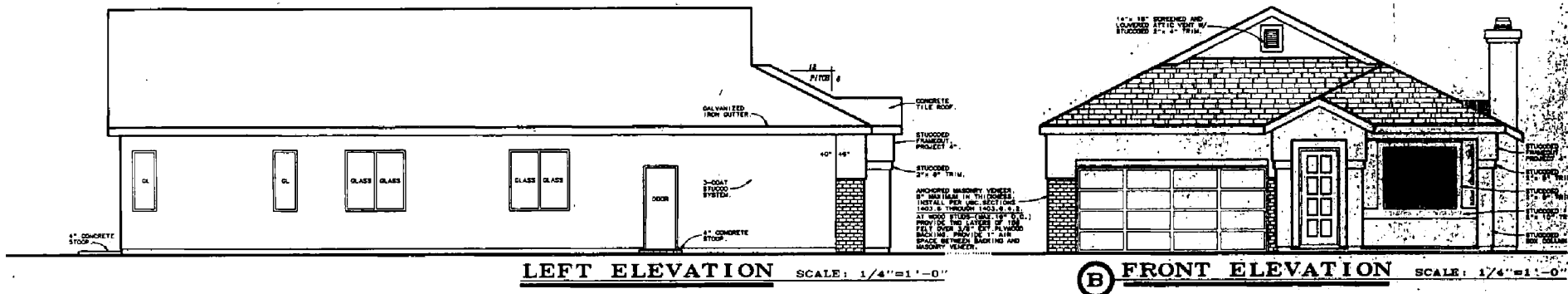
VENT CLEARANCE TABLE		UMC SEC. 804	
FROM:		TO:	
6 INCH OR MORE GRAVITY AIR INTAKE	4 FT. HORIZONTALLY OR 1 FT. ABOVE.	GAS FIRE HEATING APPLIANCES.	NOT LESS THAN 4 FT. BELOW OR 2 FT. HORIZONTALLY, AND 2 FT. ABOVE SEE UMC SEC. 804 & 808 EXCEPTIONS.
		GAS FIRE HEATING APPLIANCES.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.
ROOF	1 FOOT ABOVE.	TYPE "L" VENT	2 FT. ABOVE; TYPE "T" VENT - 2 FT. ABOVE; 6" ABOVE EDGE, 5 FT. ABOVE SUN DECK ON ROOF.
AT P.O. (EXCEPT STREET OR ALLEY)	4 FEET ABOVE.	4 FEET HORIZONTALLY.	3 FEET IN EVERY DIRECTION.
FORCED AIR HEAT. AIR INTAKE	10 FT. HORIZONTALLY OR 5 FT. ABOVE.	10 FT. HORIZONTALLY OR 5 FT. ABOVE.	10 FT. HORIZONTALLY.
VERTICAL WALL SURFACE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	1 FT. HORIZONTALLY.

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. COMPLY WITH UMC. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMNEYS AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER UMC SEC. 805.
3. INSTALL ALL WATERPROOFING (WEATHER PROTECTION) PER U.S.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH BAY OF VAULTED GLASS, IF THERE IS NO ATTIC SPACE ABOVE GLC.



VENT CLEARANCE TABLE			
FROM:	TO:		
	GAS FIRED HEATING WATER HEATER	GAS FIRED HEATING APPLIANCES	SEWER VENTS
WINDOW OR DOOR OR GRAVITY AIR INTAKE	6 FT. HORIZONTALLY OR 1 FT. ABOVE.	NOT LESS THAN 6 FT. BELOW OR 6 FT. HORIZONTALLY, AND 3 FT. ABOVE. (SEE UMC SEC. 804.6 FOR EXCEPTIONS.)	10 FT. HORIZONTALLY OR 3 FT. ABOVE.
ROOF	1 FOOT ABOVE.	"6" R. "8" VENT - 1 FT. ABOVE; TYPE "L" VENT - 2 FT. ABOVE.	6" ABOVE ROOF; 7 FT. ABOVE SUN DECK ON ROOF.
AT P.L. (EXCEPT STREET OR ALLEY).	4 FEET ABOVE.	4 FEET HORIZONTALLY.	3 FEET IN EVERY DIRECTION.
FORCED AIR MECH. AIR INTAKE.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.	10 FT. HORIZONTALLY.
VERTICAL WALL SURFACE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	1 FT. HORIZONTALLY.

EXTERIOR ELEVATIONS

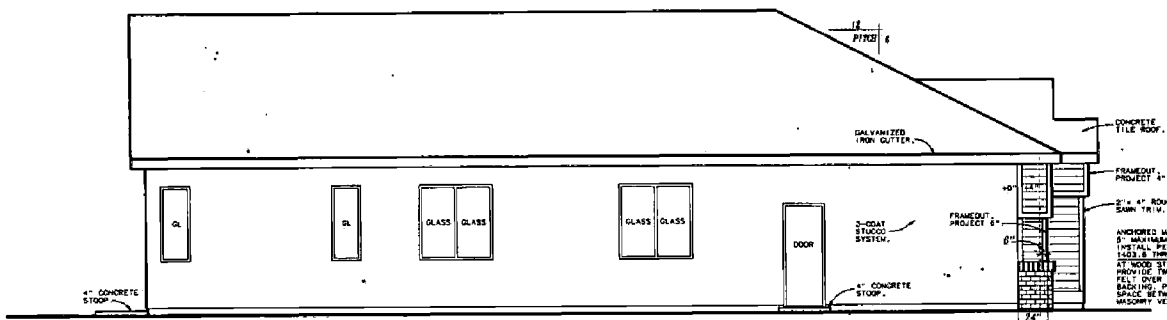
SCALE: 1/4"=1'-0"

GENERAL NOTES:

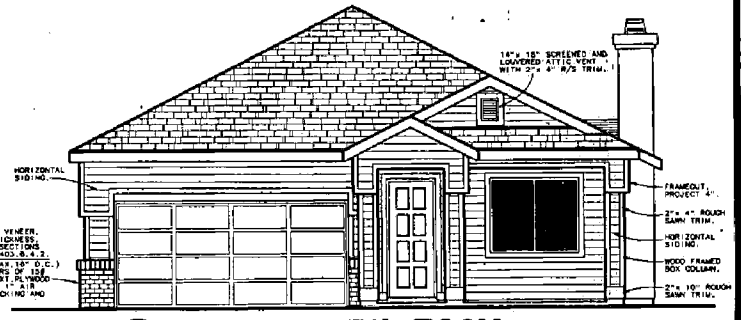
1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMNEY AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER UMC SEC. 804.
3. INSTALL ALL WATERPROOFING (WEATHER PROTECTION) PER U.M.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH BAY OF VAULTED CEILING, IF THERE IS NO ATTIC SPACE ABOVE CLO.

Exhibit 2 (b) - elevations

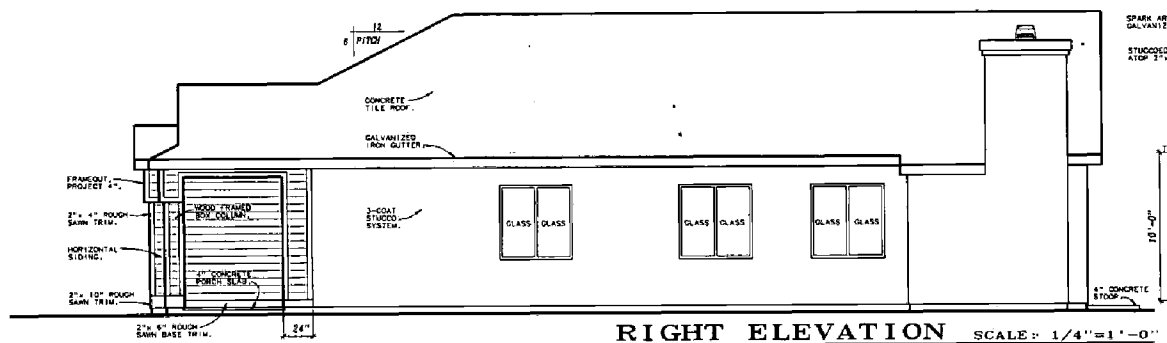
WILLY HAMILTON ARCHITECTS
 1000 S. 10TH ST. SUITE 100
 OMAHA, NE 68102
 NATOMAS PARK TRADITIONS
 (US-Home)
 MODEL 1725
 SHEET 6 OF 12



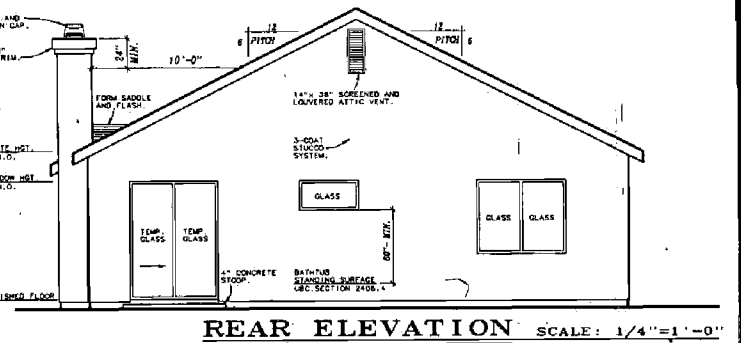
LEFT ELEVATION SCALE: 1/4"=1'-0"



FRONT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"



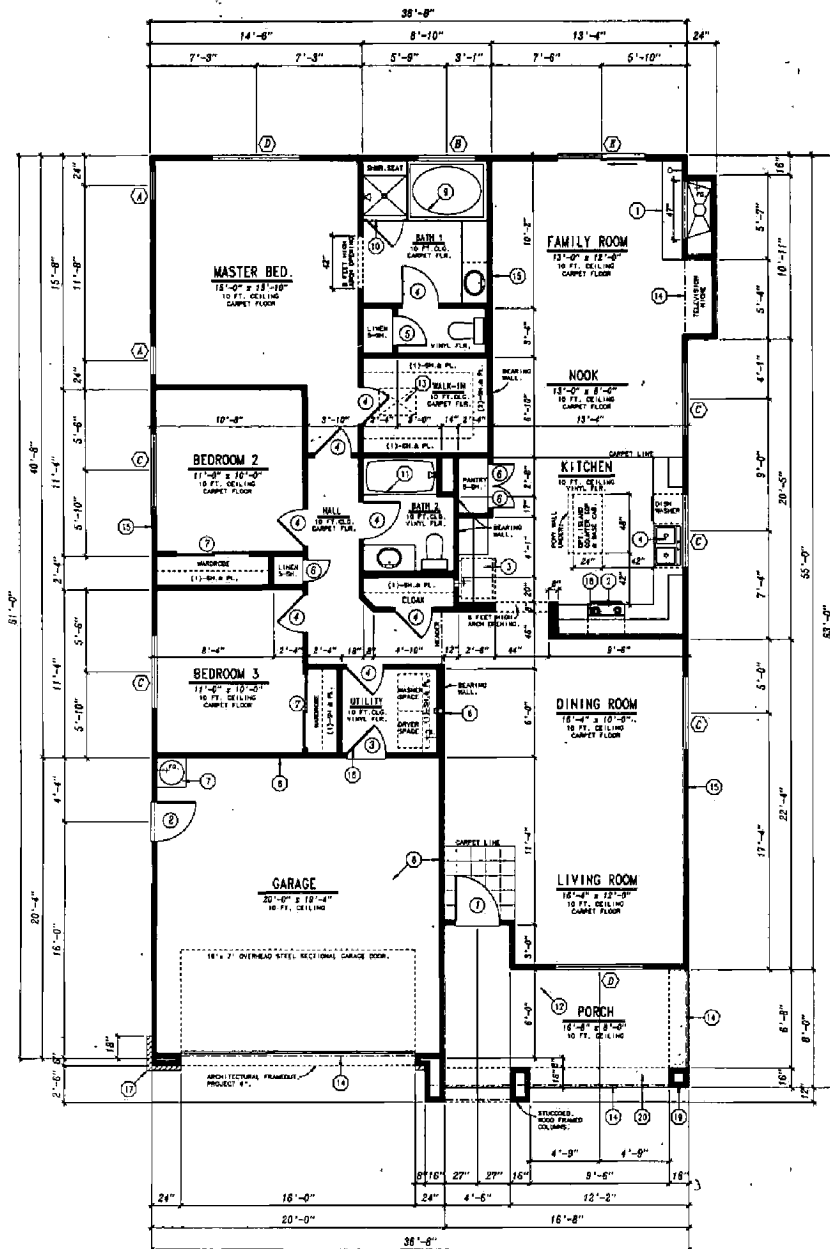
REAR ELEVATION SCALE: 1/4"=1'-0"

VENT CLEARANCE TABLE			UNC SEC. 808
FROM:	TO:		
	GAS FIRED WATER HEATER	GAS FIRED HEATING APPLIANCES	SEMI VENTS
WINDOW OR DOOR GRAVITY AIR INTAKE	4 FT. HORIZONTALLY OR 1 FT. ABOVE.	NOT LESS THAN 4 FT. BELOW OR 4 FT. HORIZONTALLY, AND 1 FT. ABOVE; SEE UNC. INCLUDE B FOR EXCEPTIONS.	10 FT. HORIZONTALLY OR 5 FT. ABOVE.
ROOF	1 FOOT ABOVE.	18" x 10" VENT - 1 FT. ABOVE. 1-1/2" x 1-1/2" VENT - 2 FT. ABOVE.	8" ABOVE ROOF. 8 FT. ABOVE SUN DECK ON ROOF.
AT P.L. (CORNER STREET OR ALLEY)	4 FEET ABOVE.	4 FEET HORIZONTALLY.	5 FEET IN EVERY DIRECTION.
FORCED AIR INLET	10 FT. HORIZONTALLY OR 5 FT. ABOVE.	15 FT. HORIZONTALLY OR 5 FT. ABOVE.	10 FT. HORIZONTALLY.
VERTICAL WALL SURFACE	4 FT. MORE THAN A 45 DEGREE ANGLE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	1 FT. HORIZONTALLY.

EXTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHASES AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER UNC SEC. 808.
3. INSTALL ALL WATERPROOFING (WEATHER PROTECTION) PER U.S.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH BAY OF VAULTED CEILING, IF THERE IS NO ATTIC SPACE ABOVE CEILING.



ADDITIONAL FLOOR PLAN NOTES

1. FACTORY-BUILT FIREPLACE: (SEE SPEC.) PROVIDE A METAL CHIMNEY WITH THE MANUFACTURER'S SPECIFICATIONS. PROVIDE THE FOLLOWING: (1) METAL CHIMNEY WITH THE MANUFACTURER'S SPECIFICATIONS. PROVIDE THE FOLLOWING: (1) METAL CHIMNEY WITH THE MANUFACTURER'S SPECIFICATIONS. PROVIDE THE FOLLOWING: (1) METAL CHIMNEY WITH THE MANUFACTURER'S SPECIFICATIONS.
2. REFRIGERATOR SPACE: PROVIDE A PLUMBING TIE-OUT WITH SHUT-OFF VALVE FOR THE OWNER.
3. 1/2" x 8" STUD PLUMBING WALL.
4. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
5. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
6. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
7. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
8. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
9. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
10. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
11. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
12. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
13. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
14. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
15. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
16. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
17. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
18. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
19. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.
20. 1/2" x 8" STUD WALL, PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER. PROVIDE A 3/4" DIAMETER HOLE FOR THE WATER HEATER.

IMPORTANT

SEE SHEET NUMBER 3 FOR:

1. BEAM WALL LOCATIONS AND CONSTRUCTION.
2. BEAM AND HEADER LOCATIONS AND SIZES.
3. OTHER STRUCTURAL RECOMMENDATIONS.

DOOR SCHEDULE

SYM.	SIZE	TYPE	REMARKS	QTY.
1	3'-0" x 8'-0"	1-3/4" SOLID CORE EXTERIOR	WARD. PER BLUR., 1" KEYS DEAD BOLT LOCK	1
2	2'-0" x 8'-0"	1-3/4" SOLID CORE EXTERIOR	1" KEYS DEAD BOLT LOCK	1
3	2'-0" x 8'-0"	1-3/8" SOLID CORE INTERIOR	BUILD WOOD, SELF-CLOSING, 1" KEYS D.B.	1
4	2'-0" x 8'-0"	1-3/8" HOLLOW CORE INTERIOR		1
5	2'-0" x 8'-0"	1-3/8" HOLLOW CORE INTERIOR		1
6	1'-0" x 8'-0"	1-3/8" HOLLOW CORE INTERIOR		2
7	5'-0" x 8'-0"	BYPASS	WARDROBE	3
8				
9				
10				
11				

WINDOW SCHEDULE

SYM.	SIZE	TYPE	REMARKS	QTY.
A	2'-0" x 5'-0"	VINYL STATIONARY		2
B	4'-0" x 2'-0"	VINYL STATIONARY		1
C	5'-0" x 5'-0"	VINYL SLIDING X.O.		1
D	6'-0" x 5'-0"	VINYL SLIDING X.O.		2
E	6'-0" x 8'-0"	VINYL SLIDING X.O.	TEMPERED GLASS, LOCKING PIN AT MIDHT.	1
F				
G				
H				

FLOOR PLAN

SCALE: 1/4" = 1'-0"

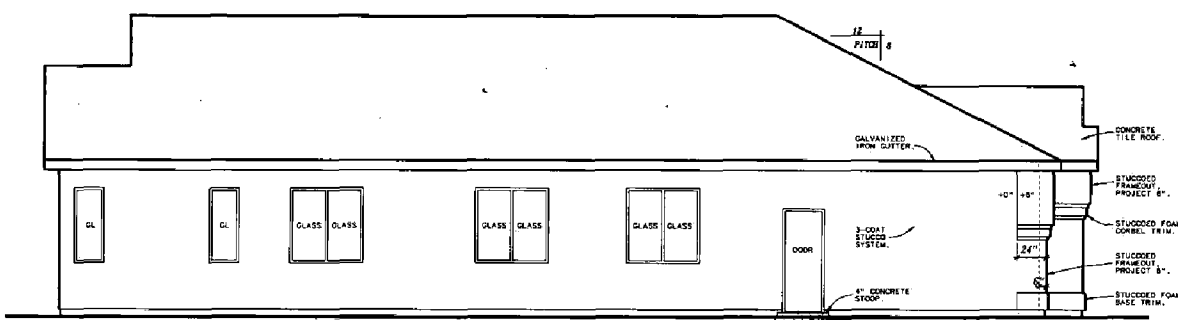
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(VEHICLE) - GARAGE AREA = 405 SQ. FT.
 PORCH AREA = 147 SQ. FT.
 TOTAL NON-LIVING AREA = 552 SQ. FT.

TOTAL LIVING AREA = 1731 SQ. FT.

- #### GENERAL NOTES:
1. ALL WINDOWS AND French doors shall be dual glazed insulating type.
 2. PROVIDE WINDOW R-2 INSULATION AT ALL EXTERIOR WALLS WITH EXTERIOR EXPOSED TREATING AND 1/2" INSULATING WALL.
 3. PROVIDE R-28 INSULATION AT CEILING OF ALL LIVING AREAS, U.S.C.
 4. COMPLY WITH U.S.C. SECTION 170 FOR ALL FLOOR AND RAFTER STOP ROOF ROOFING. (EXCEPT THE FLOOR IS 1/2" INSUL. VERTICAL.)
 5. WHERE FIRE RESISTIVE CONSTRUCTION REQUIRES PENETRATION, COMPLY WITH THE "UNIFORM BUILDING CODE", SECTION 708 AND 710.
 6. INSTALL BARRICADE GROMPERS PER TITLE 24.
 7. PROVIDE WEATHER STOPPING AT ALL EXTERIOR DOORS AND AT ATTIC JOISTS.
 8. PROVIDE R-4 INSULATION AT WATER HEATER ON FIVE FEET OF PIPING.
 9. FACTORY-BUILT FIREPLACE SHALL HAVE GLASS DOORS AS NO IN. COMBUSTION AIR OPENING WITH GLASS DOORS AND FLUE SHIELD.
 10. PROVIDE WITH SECTIONAL OVERHEAD GARAGE DOOR AND PROVIDE FOR ELECT. GARAGE DOOR OPENER. USE STEEL ELECT. HOUSING IF FINE MESH GLASS.
 11. REFERENCE PUBLICATIONS FOR THIS PROJECT ARE: 1997 U.S.C., U.S.C., I.C.C. AND THE I.C.C. AS ISSUED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION.
 12. (OPENED) GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.
 13. COMBUSTION AND TEMPERATURE CONTROL SHALL BE PROVIDED WITH PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED INTAKE VALVES.
 14. ALL STRUCTURE EQUALIZER DUCTS FOR DOMESTIC CLOTHING DRYERS SHALL BE MADE OF METAL HAVE BURNOUT INSULATION SURFACES, LOCATED ON THE OUTSIDE OF THE BUILDING, AND BE EQUIPPED WITH A BIRD-DRAFT STOPPER (IAC. SEC. 903).
 15. PROVIDE UNDESIRABLE BACKFLOW PREVENTION ON SEWER OR ALL EXTERIOR HOSE BIBS.
 16. WATER CLOSETS SHALL HAVE NOT MORE THAN 1.0 GALLONS PER FLUSH.
 17. BEMBER HEADS SHALL HAVE NOT MORE THAN 2.0 GALLONS PER FLUSH RATE.
 18. LAVATORY OR SINKEN FAUCETS NOT TO EXCEED 2.2 GALLONS PER FLUSH RATE.
 19. PROVIDE AIR GAP AT SINK WASTEW.

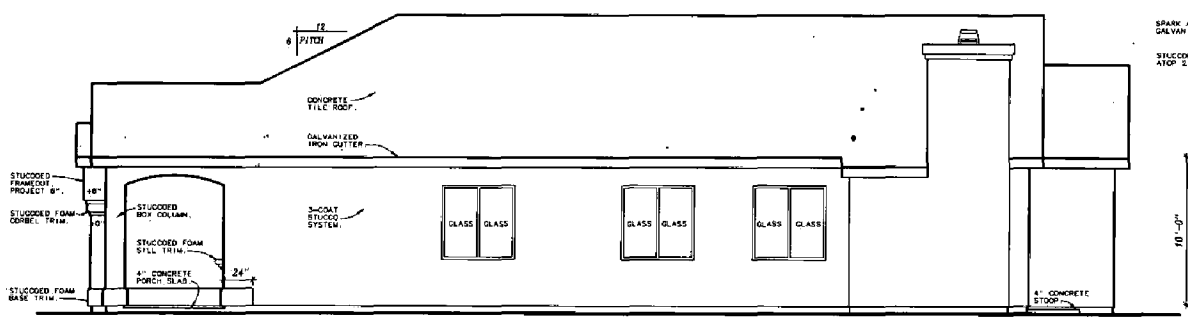
Exhibit 2(d) - floor plan



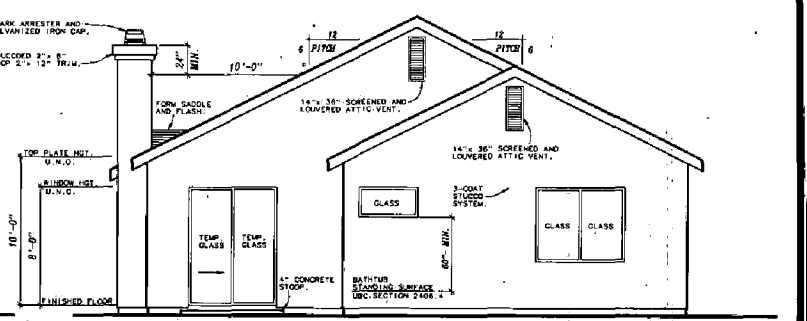
LEFT ELEVATION SCALE: 1/4"=1'-0"



A FRONT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

FROM:	TO:		
	GAS FIRED WATER HEATER.	GAS FIRED HEATING APPLIANCES.	SEWER VENTS.
WINDOW OR DOOR OR DRAIN AIR INTAKE.	3 FT., HORIZONTALLY OR 1 FT., ABOVE.	NOT LESS THAN 4 FT. BELOW OR 4 FT. HORIZONTALLY, AND 1 FT. ABOVE, SEE U.S.C. SEC. 608.9 FOR EXCEPTIONS.	10 FT., HORIZONTALLY OR 3 FT., ABOVE.
ROOF.	1 FOOT ABOVE.	18" x 18" VENT - 1 FT. ABOVE TYPE "L" VENT - 2 FT. ABOVE.	6" SHOE ROOF 5 FT. ABOVE SUN DECK OR ROOF.
AT P.L. (EXCEPT STREET OR ALLEY).	4 FEET ABOVE.	4 FEET HORIZONTALLY.	3 FEET IN EVERY DIRECTION.
FORCED AIR MECH. AIR INTAKE.	10 FT., HORIZONTALLY OR 5 FT., ABOVE.	10 FT., HORIZONTALLY OR 5 FT., ABOVE.	10 FT., HORIZONTALLY.
VERTICAL WALL SURFACE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	1 FT., HORIZONTALLY.

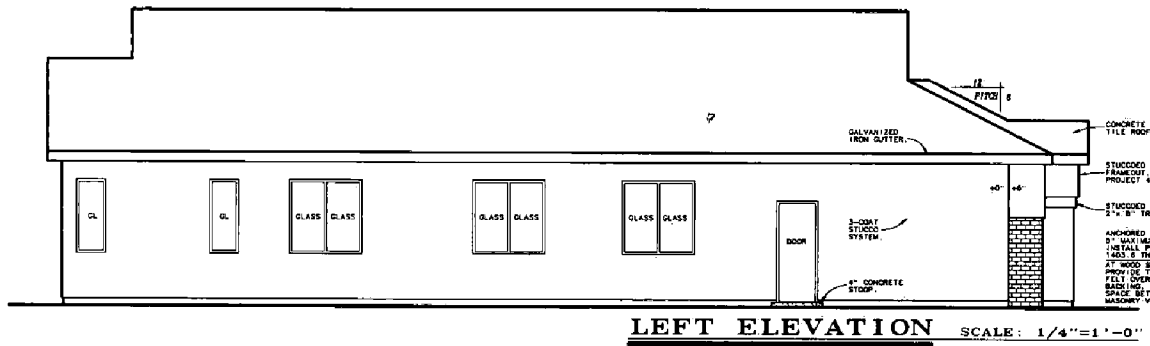
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

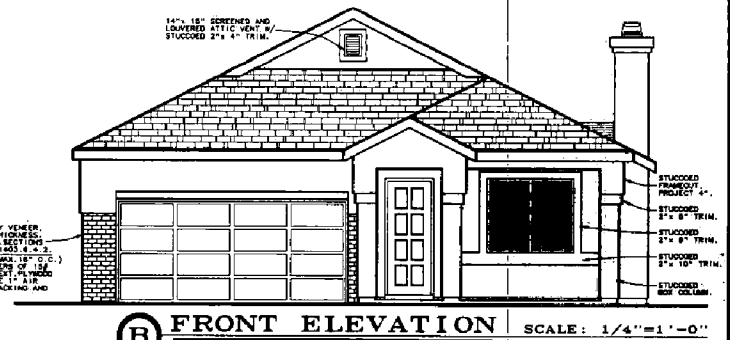
GENERAL NOTES:

1. COMPLY WITH U.F.C. INSTALLATION INSTRUCTIONS AT ALL PLACES AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER U.S.C. SEC. 608.
3. INSTALL ALL WEATHERPROOFING (WEATHER PROTECTION) PER U.S.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH BAY OF VAULTED CLOS. IF THERE IS NO ATTIC SPACE ABOVE CLOS.

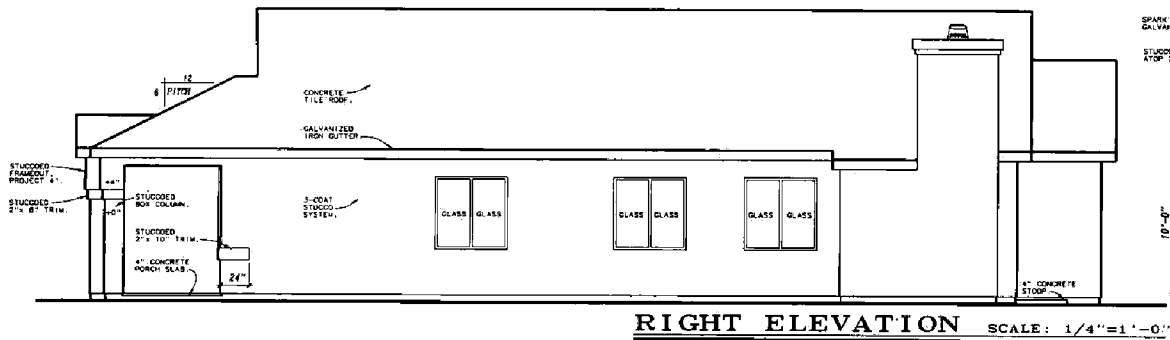
Exhibit 3 (a) - elevations



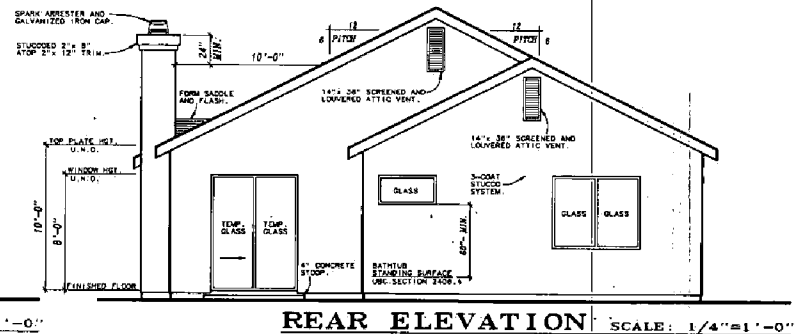
LEFT ELEVATION SCALE: 1/4"=1'-0"



(B) FRONT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

VENT CLEARANCE TABLE			
FROM:	TO:		
	GAS FIRED WATER HEATER	GAS FIRED HEATING APPLIANCES	SEWER VENTS
WINDOW OR DOOR GRAVITY AIR INTAKE	4 FT., HORIZONTALLY OR 1 FT., ABOVE.	NOT LESS THAN 4 FT. BELOW OR 4 FT. HORIZONTALLY, AND SEC. 900.2 FOR EXCEPTIONS.	10 FT., HORIZONTALLY OR 5 FT., ABOVE.
ROOF	1 FOOT ABOVE.	"B" & "B1" VENT - 1 FT. ABOVE. TYPE "L" VENT - 2 FT. ABOVE.	5' ABOVE ROOF, 7 FT. ABOVE SUN DECK OR ROOF.
AT P.I. (EXCEPT STREET OR ALLEY)	4 FEET ABOVE.	4 FEET HORIZONTALLY.	3 FEET IN EVERY DIRECTION.
FORCED AIR MECH. AIR INTAKE	10 FT., HORIZONTALLY OR 3 FT., ABOVE.	10 FT., HORIZONTALLY OR 3 FT., ABOVE.	10 FT., HORIZONTALLY.
VERTICAL WALL SURFACE	4 FT. MORE THAN A 45 DEGREE ANGLE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	1 FT., HORIZONTALLY.

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMES AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER U.S.C.
3. INSTALL ALL WATERPROOFING (WEATHER PROTECTION) PER U.S.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH BAY OF VAULTED GLASS, IF THERE IS NO ATTIC SPACE ABOVE GLASS.

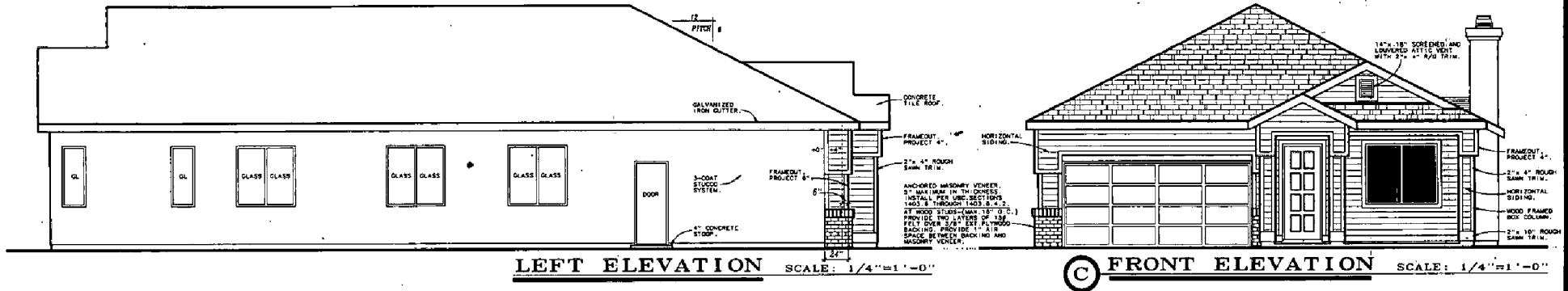
WILLIAM HAMILTON
FRANK WHITTAKER

NATOMAS PARK
TRADITIONS

US-Home

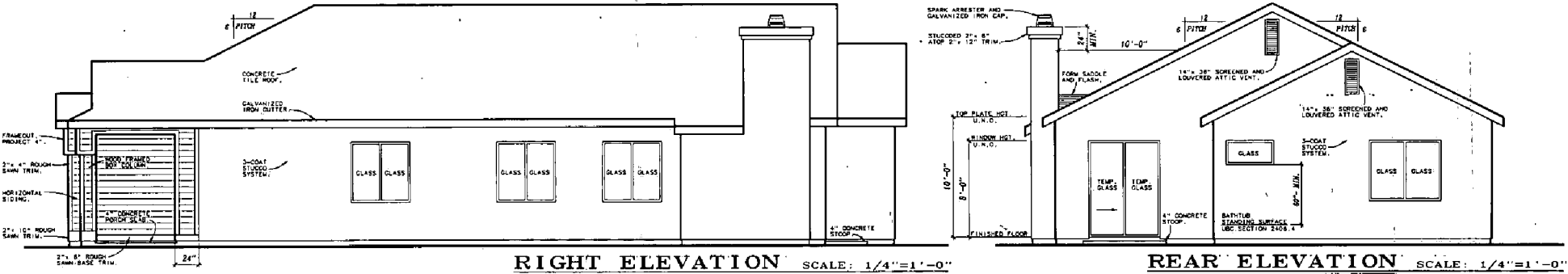
MODEL 1857

SHEET
6
OF
12



LEFT ELEVATION SCALE: 1/4"=1'-0"

FRONT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"

REAR ELEVATION SCALE: 1/4"=1'-0"

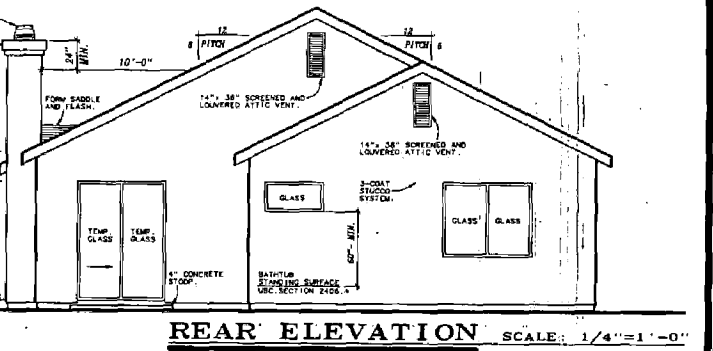
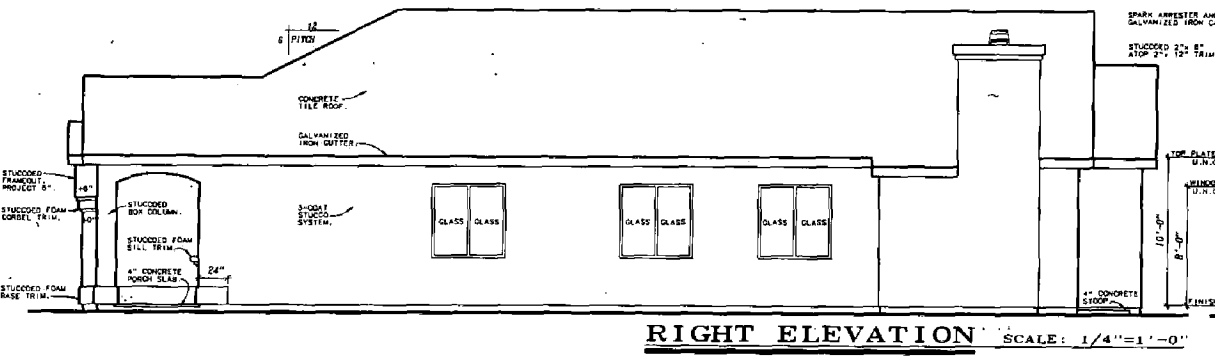
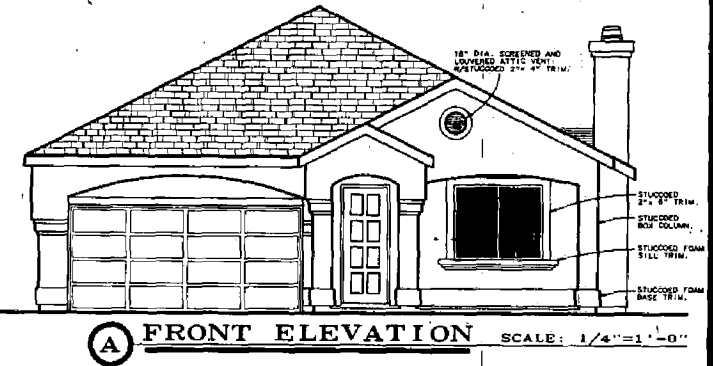
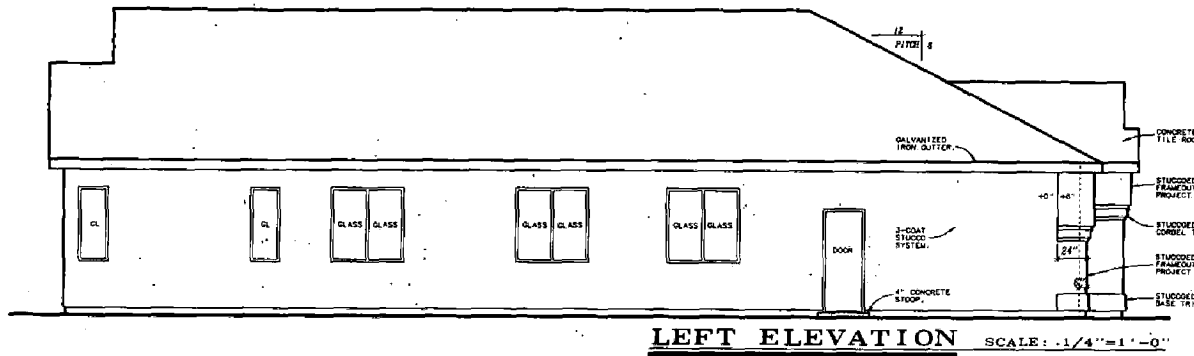
FROM:	TO:		
	GAS FIRED WATER HEATER	GAS FIRED HEATING APPLIANCES	SEWER VENTS
WINDOW OR DOOR EXHAUST AIR INTAKE	4 FT. HORIZONTALLY OR 1 FT. ABOVE.	NOT LESS THAN 4 FT. BELOW OR 4 FT. HORIZONTALLY, AND 1 FT. ABOVE. SEE UBC SEC. 800.8 FOR EXCEPTIONS.	10 FT. HORIZONTALLY OR 5 FT. ABOVE.
ROOF	1 FOOT ABOVE.	"8" x "8" VENT - 1 FT. ABOVE TYPE "A" VENT - 3 FT. ABOVE.	6" ABOVE ROOF, 2 FT. ABOVE SUN DECK OR ROOF.
ST. P. L. (CEPT STREET OR ALLEY)	4 FEET ABOVE.	4 FEET HORIZONTALLY.	3 FEET IN EVERY DIRECTION.
FORCED AIR MECH. AIR INTAKE	10 FT. HORIZONTALLY OR 3 FT. ABOVE.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.	10 FT. HORIZONTALLY.
VERTICAL WALL SURFACE	4 FT. MORE THAN A 45 DEGREE ANGLE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	1 FT. HORIZONTALLY.

EXTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHASES AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
 2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER UBC SEC. 800.8.
 3. INSTALL ALL WATERPROOFING (WEATHER PROTECTION) PER U.B.C.
 4. PROVIDE GARAGE EXHAUST VENTS PER U.B.C.
 5. VENT EACH BAY OF VAULTED GLASS... IF THERE IS NO ATTIC SPACE ABOVE GLC.

WILLIAM HAMILTON
 FRANK WHITAKER
 REVISION BLOCK
 NATOMAS PARK TRADITIONS
US·Home
 MODEL 1857
 SHEET 7 OF 12

Exhibit 3 (c) - elevations



RIGHT ELEVATION SCALE: 1/4"=1'-0"

REAR ELEVATION SCALE: 1/4"=1'-0"

FROM:	TO:		
	GAS FIRED WATER HEATER	GAS FIRED HEATING APPLIANCE	SEWER VENTS
WINDOW OR DOOR GRAVITY AIR INTAKE	3 FT. HORIZONTALLY OR 1 FT. ABOVE.	NOT LESS THAN 4 FT. BELOW OR 4 FT. HORIZONTALLY AND 3 FT. ABOVE. SEE U.S.C. 902.5 FOR FURTHER INFORMATION.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.
ROOF	1 FOOT ABOVE.	7\"/>	

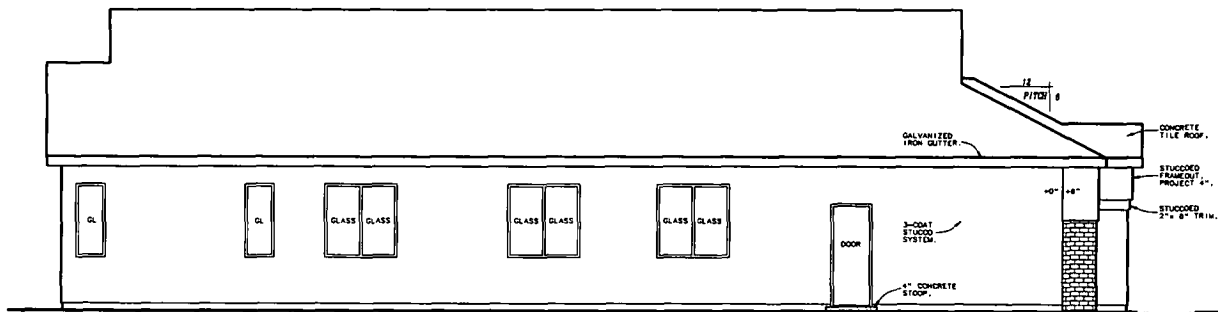
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

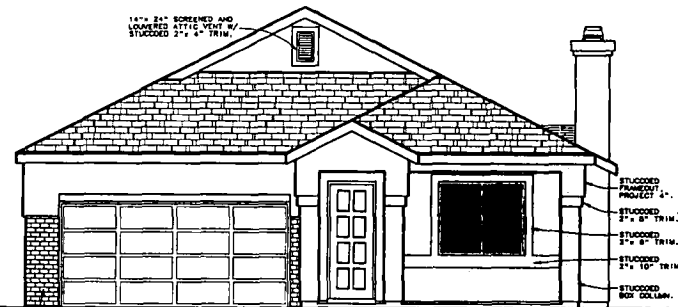
GENERAL NOTES:

1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS FOR CHIMNEY CHASES AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER U.S.C. 902.5.
3. INSTALL ALL WATERPROOFING (WEATHER PROTECTION) PER U.S.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH BAY OF VAULTED CEILING, IF THERE IS NO ATTIC SPACE ABOVE C.C.

WILLIAM HAMILTON
 FRANK WELFAKER
 REVISION: 04/02
 NATOMAS PARK TRADITIONS
US-Home
 MODEL 2072
 SHEET 5 OF 12

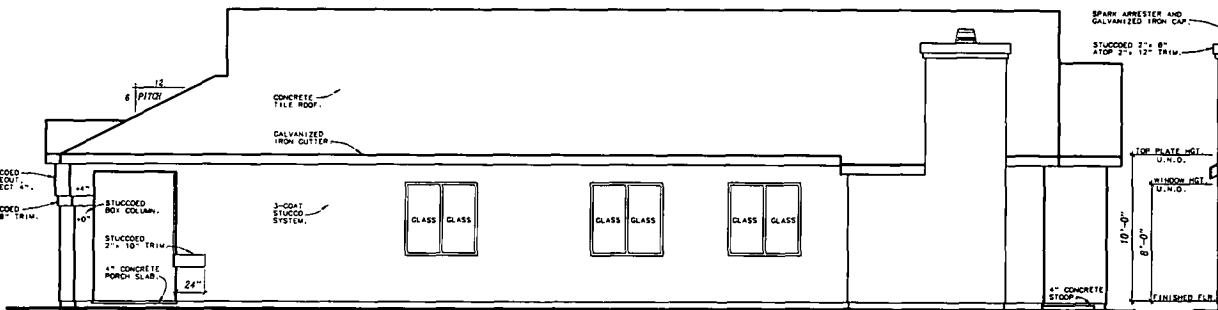


LEFT ELEVATION SCALE: 1/4"=1'-0"

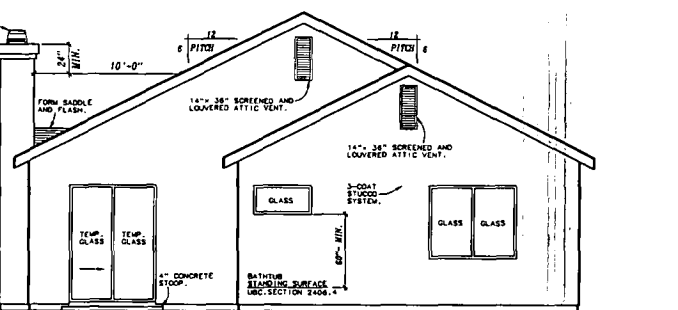


FRONT ELEVATION SCALE: 1/4"=1'-0"

ANCHORED MASONRY VENEER, 3" MINIMUM IN THICKNESS, INSTALL PER IRC SECTIONS 1403.5 THROUGH 1403.8.4.2. AT ROOF STRUCTURE (MIN 1" O.C.) PROVIDE TWO LAYERS OF 1/2" GYP OVER 2x8" EX. W/ WOOD BACKING. PROVIDE 1" AIR SPACE BETWEEN BACKING AND MASONRY VENEER.



RIGHT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

VENT CLEARANCE TABLE			
FROM:	TO:		
	GAS FIRED WATER HEATER.	GAS FIRED HEATING APPLIANCE.	SEMI VENTS.
WINDOW OR DOOR GRAVITY AIR INTAKE.	4 FT. HORIZONTALLY OR 1 FT. ABOVE.	NOT LESS THAN 4 FT. BELOW OR 2 FT. HORIZONTALLY, AND 3 FT. ABOVE. SEE UMC SEC. 808.5 FOR EXCEPTIONS.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.
ROOF	1 FOOT ABOVE.	"8" x "26" VENT - 1 FT. ABOVE, TYPE "L" VENT - 3 FT. ABOVE.	8" ABOVE ROOF, 2 FT. ABOVE SUN DECK OR ROOF.
AT P.I.L. (EXCEPT STREET OR ALLEY).	4 FEET ABOVE.	4 FEET HORIZONTALLY.	3 FEET IN EVERY DIRECTION.
FORCED AIR MECH. AIR INTAKE.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.	10 FT. HORIZONTALLY.
VERTICAL WALL SURFACE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	1 FT. HORIZONTALLY.

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS AND REPLACE CHASIS AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "8" VENT TERMINATIONS PER UMC SEC. 808.
3. INSTALL ALL WATERPROOFING (INCLUDES PROTECTION) PER U.B.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.B.C.
5. VENT EACH BAY OF VAULTED CLOS., IF THERE IS NO ATTIC SPACE ABOVE CLOS.

Exhibit 4 (b) - elevations

WILLIAM HAMILTON
DESIGNED BY
FRANK WHITAKER

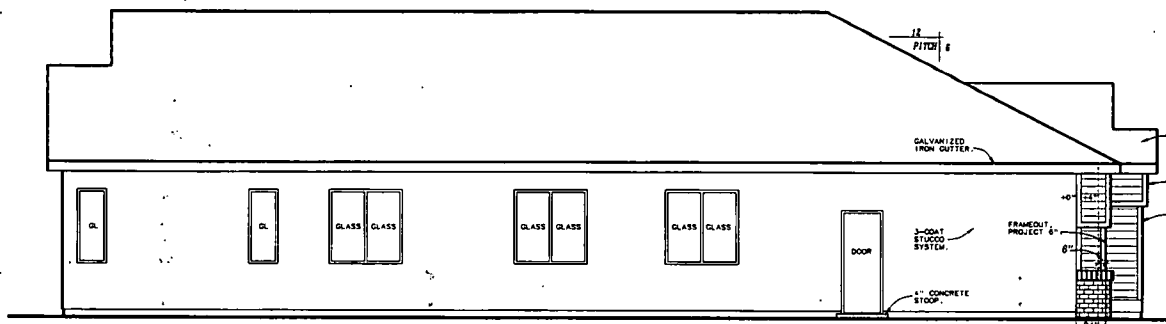
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REVISED BY

NATOMAS PARK
TRADITIONS

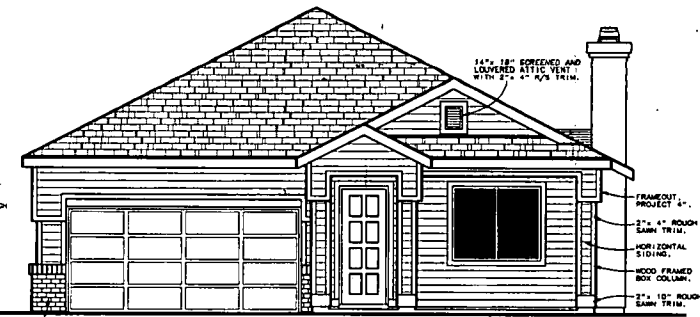
US-Home

MODEL 2072

SHEET
6
OF
12

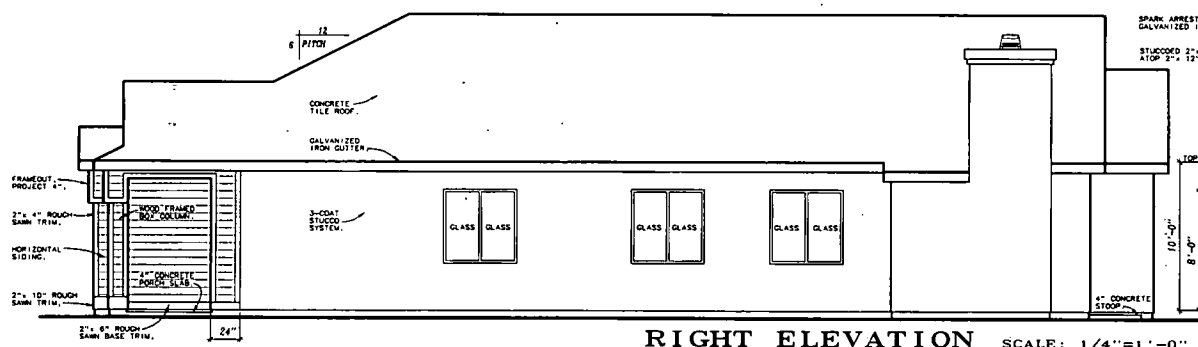


LEFT ELEVATION SCALE: 1/4"=1'-0"

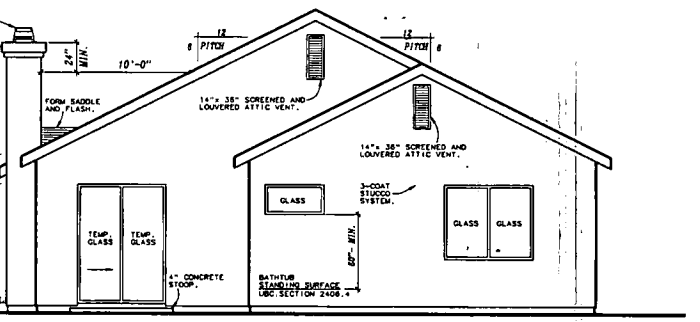


FRONT ELEVATION SCALE: 1/4"=1'-0"

ANCHORED MASONRY VENEER:
 5" MAXIMUM IN THICKNESS.
 INSTALL PER UBC SECTIONS
 1403.8 THROUGH 1403.8.4.2.
 1/2" WOOD STUDS (MAX. 16" O.C.)
 PROVIDE TWO LAYERS OF 1/2"
 FELT OVER 3/4" EXT. PLYWOOD
 BACKING. PROVIDE 1" AIR
 SPACE BETWEEN BACKING AND
 MASONRY VENEER.



RIGHT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

FROM:	TO:		
	GAS FIRED HEATING WATER HEATER.	GAS FIRED HEATING APPLIANCES.	SEWER VENTS.
WINDOW OR DOOR GRAVITY AIR INTAKE	4 FT. HORIZONTALLY OR 1 FT. ABOVE.	NOT LESS THAN 4 FT. BELOW OR 4 FT. HORIZONTALLY, AND 1 FT. ABOVE. SEE UBC SECTION 4 FOR EXCEPTIONS.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.
ROOF	1 FOOT ABOVE.	"B" & "D" VENT - 1 FT. ABOVE. TYPE "L" VENT - 2 FT. ABOVE.	8" ABOVE ROOF. 2 FT. ABOVE SUN DECK OR ROOF.
AT P.I. (EXCEPT STREET OR ALLEY).	4 FEET ABOVE.	4 FEET HORIZONTALLY.	3 FEET IN EVERY DIRECTION.
FORCED AIR MECH. AIR INTAKE.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.	10 FT. HORIZONTALLY.
VERTICAL WALL SURFACE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	1 FT. HORIZONTALLY.

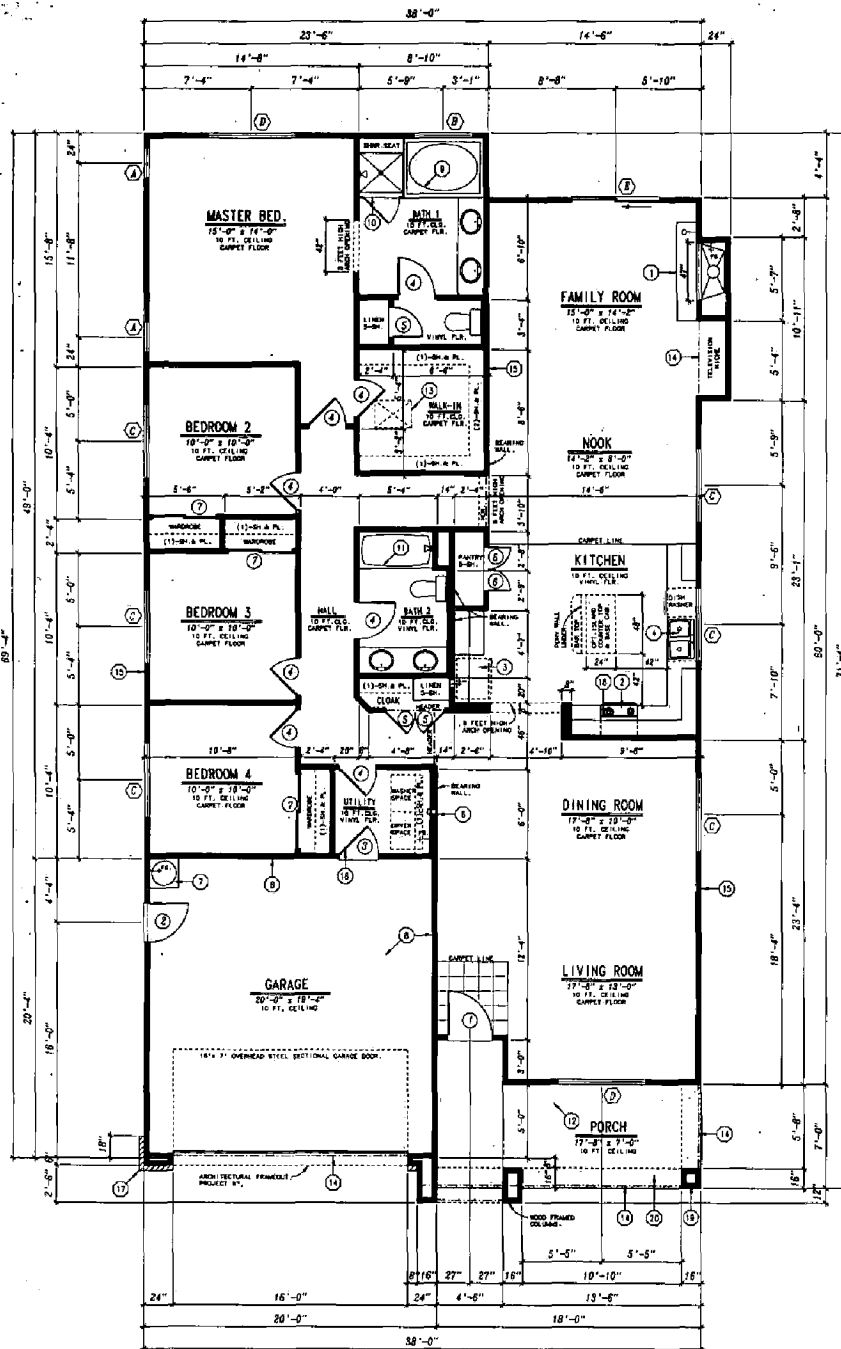
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHASES AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER UBC SECTION 4.
3. INSTALL ALL WATERPROOFING (WEATHER PROTECTION) PER U.S.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH BAY OF VAULTED GLASS, IF THERE IS NO ATTIC SPACE ABOVE GLASS.

Exhibit 4 (c) - elevations



ADDITIONAL FLOOR PLAN NOTES

- FACTORY-BUILT FIREPLACE (MFG-NUM) MUST BE INSTALLED WITH HEARTH EXTENSION. PROVIDE MINIMUM 2" CLEARANCE AT ALL SIDES AND 18" CLEARANCE AT TOP. PROVIDE MANUFACTURER'S SPECIFICATIONS. PROVIDE GAS VALVE, SIZE VENTING PIPE, FOR ARCHITECTURAL FINISHES, STOVES, ETC.
- BEFORE GAS RANGES WITH A METAL HOOD, EXHAUST FAN, LIGHT, AND 2" WATERER. INSTALLATION MUST BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. HOOD AND PER MANUFACTURER'S SPECIFICATIONS.
- RETRACTABLE RANGE: PROVIDE A PLUMBING RETRACTABLE WITH SHUTOFF VALVE FOR ICE MAKER.
- MOVABLE RANGE WITH SHUTOFF VALVE: INSTALL PER S.P.C. AND MANUFACTURER'S SPECIFICATIONS.
- 2 1/2" x 8" STUD PLUMBING WALL.
- 2 1/2" x 8" STUD WALL. PROVIDE 1/2" DIAMETER CROWN MOULDING. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM.
- WATER HEATER WITH RELIEF VALVE AND THERMOSTAT. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM.
- WATER HEATER WITH RELIEF VALVE AND THERMOSTAT. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM.
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- WATER HEATER WITH RELIEF VALVE AND THERMOSTAT. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM.
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- WATER HEATER WITH RELIEF VALVE AND THERMOSTAT. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM.
- WATER HEATER WITH RELIEF VALVE AND THERMOSTAT. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM.
- WATER HEATER WITH RELIEF VALVE AND THERMOSTAT. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM.
- WATER HEATER WITH RELIEF VALVE AND THERMOSTAT. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM. PROVIDE 1/2" x 4" TRIM.

IMPORTANT

- SHEAR WALL LOCATIONS AND CONSTRUCTION.
- BEAM AND HEADER LOCATIONS AND SIZES.
- OTHER STRUCTURAL RECOMMENDATIONS.

DOOR SCHEDULE

SYM.	SIZE	TYPE	REMARKS	QTY.
1	3'-0" x 8'-0"	1-3/4" SOLID CORE EXTERIOR	WALK PER FLOR. 1" KEVED DEAD BOLT LOCK	1
2	3'-0" x 8'-0"	1-3/4" SOLID CORE EXTERIOR	1" KEVED DEAD BOLT LOCK	1
3	2'-8" x 6'-8"	1-3/8" SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" KEVED D.B.	1
4	2'-8" x 6'-8"	1-3/8" MOLLOW CORE INTERIOR		7
5	2'-0" x 6'-8"	1-3/8" MOLLOW CORE INTERIOR		3
6	1'-8" x 5'-8"	1-3/8" MOLLOW CORE INTERIOR		1
7	3'-0" x 8'-0"	BYPASS	WARDROBE	1
8	4'-4" x 6'-8"	BYPASS	WARDROBE	2
9				
10				
11				

WINDOW SCHEDULE

SYM.	SIZE	TYPE	REMARKS	QTY.
A	2'-0" x 5'-0"	VINYL STAT QUARY		2
B	4'-0" x 2'-0"	VINYL STAT QUARY	WATER RESISTANT BARRIER FINISHES PER S.P.C. 1	1
C	5'-0" x 5'-0"	VINYL SLIDING X.O.		6
D	6'-0" x 5'-0"	VINYL SLIDING X.O.		1
E	6'-0" x 8'-0"	VINYL SLIDING X.O.	TEMPERED GLASS, LOOKING PIN AT MIDHGT.	1
F				
G				
H				

FLOOR PLAN SCALE: 1/4" = 1'-0"

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(VEHICLE) - GARAGE AREA - 433 SQ. FT.	TOTAL LIVING AREA - 2058 SQ. FT.
PORCH AREA - 137 SQ. FT.	
TOTAL NON-LIVING AREA - 540 SQ. FT.	

- GENERAL NOTES:**
- ALL WINDOWS AND French doors shall be dual glazed insulating glass.
 - PROVIDE WEATHER STRIPPING AT ALL EXTERIOR WALLS WITH EXTERIOR STUCCO SYSTEM AND AT MOOSE/SHOWER WALLS.
 - PROVIDE IN-SLAB INSULATION AT CEILING OF ALL LIVING AREAS. U.S.G.
 - COMPLY WITH U.S.G. SECTION FOR ALL FIRE BLOCK AND SHIRT STOP REQUIREMENTS. (EXCEPTION: FIRE BLOCK AT 8 FT. WALL INTERVALS.)
 - WHERE FIRE RESISTANT CONSTRUCTION IS REQUIRED, COMPLY WITH THE UNITFORM BUILDING CODE - 1997 EDITION FOR AND FIRE.
 - INSTALL BACKDRAFT DAMPERS FOR TITLE 24.
 - PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ATTIC ACCESS.
 - PROVIDE IN-SLAB INSULATION AT WATER HEATER ON FIRST FIVE FEET OF PIPING.
 - FACTORY-BUILT FIREPLACE SHALL HAVE CLASS R-RATED 6" x 8" INCH. COMBUSTION AIR OPENING WITH CLOSABLE DAMPER AND FLEX DAMPER.
 - PROVIDE METAL SECTION OVERHEAD GARAGE DOORS AND PRE-WIRE FOR ELECTRIC GARAGE DOOR OPENER. USE STEEL ELECT. BRACKETS IN FIRE RATED GLOBE.
 - REFERENCED SPECIFICATIONS FOR THIS PROJECT ARE: UNIT 12.6.C., U.S.G.C., AND UNIT 12.6.C., AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION.
 - TEMPERED GLASS SHALL BE AFFIXED WITH A PLYWOOD LAMINATE.
 - SHOWN AND DIMENSIONS DIMENSIONS SHALL BE PROVIDED WITH PRELIMINARY BALANCE OF THE MANUFACTURER'S SPECIFICATIONS.
 - NO SUTURE EXCESSIVE DUCTS FOR DOMESTIC CLOTHES DRYERS SHALL BE MADE OF METAL. METAL DUCTS SHALL BE MADE OF GALVANIZED STEEL OR ALUMINUM. THE DUCTS OF THE BUILDING SHALL BE IDENTIFIED WITH A BACKGROUND DAMPER (S.P.C. SECTION 12.6.C.).
 - PROVIDE NON-REMOVABLE BACKLASH PREVENTION ON ALL EXTERIOR ROPE REELS.
 - WATER CLOSURES SHALL HAVE NOT MORE THAN 1.8 GALLONS PER FLUSH.
 - SHOWER HEADS SHALL HAVE NOT MORE THAN 2.5 GALLONS PER FLUSH RATE.
 - EXHAUST OF KITCHEN FANETS NOT TO EXCEED 3.0 G.P.M./MIN. FLOW RATE.
 - PROVIDE 1/4" GWT AT OTHER NUMBER.

Exhibit 4 (d) - floor plan

Exhibit 5
Letter of Agreement

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD
LETTER OF AGREEMENT**

P00-121: US HOME - NORTHBOROUGH VILLAGE 3-2

PROJECT NAME/FILE #: Northborough Village 3-2
(82 Units total), P00-121

PROJECT LOCATION: Northeast side of Maybrook Drive, west of Northborough Drive and south of Club Center Drive.

ASSESSOR'S PARCEL NUMBER(S): 201-0340-007

ZONING: R-1A-PUD

APPLICANT'S NAME/ADDRESS: US Home (Mitch Young)
2366 Gold Meadow Way, Ste 100, Gold River, CA 95630
(916) 858-3900; fax (916) 858-3941

I, Mitchell Young - Vice President (please print and include title), agree to amend the project application, P00-121, to incorporate the attached Conditions of Approval into the requested Planning Director's Special Permit (PDSP).

I acknowledge that this project, P00-121, is subject to these PDSP Conditions of Approval. These PDSP Conditions of Approval will establish responsibilities for the monitoring of my project by various City Departments, and by other public agencies under the terms agreed upon in the PDSP Conditions of Approval. I understand that the PDSP Conditions of Approval for my project may require the expenditure of owner/developer funds where necessary to comply with the provisions of said PDSP Conditions of Approval.

Mitchell Young
Signature

Vice President
Title

11/28/00
Date