

REPORT AMENDED BY STAFF 4-13-89
CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Morton and Pitalo Inc., 1430 Alhambra Blvd., Sacramento, CA 95816
 OWNER Robert E. Burke, 112 Scenic Drive, Orinda, CA 94563
 PLANS BY Buzz Garcia Associates, 1610 Arden Way, Suite 225, Sacramento, CA 95815
 FILING DATE 8/12/88 ENVIR. DET. Negative Declaration REPORT BY DH:pe
 ASSESSOR'S PCL. NO. 119-0070-036

- APPLICATION:**
- A. Negative Declaration
 - B. Tentative map to establish two lots for air space condominium development.
 - C. Special Permit to develop 172 condominium units on 13+ vacant acres in the Single Family Alternative (R-1A) Zone.

LOCATION: West side of Franklin Boulevard, 500 feet north of Mack Road.

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 172 unit condominium project on 13+ vacant acres.

PROJECT INFORMATION:

General Plan Designation:	Medium Density Residential (16-21 du/net acre)
1986 South Sacramento Community Plan Designation:	Residential 11-21 du/net acre.
Existing Zoning of Site:	R-1A
Existing Land Use of Site:	Vacant boarded by north and south forks of Elder Creek drainage canal.

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North:	Vacant; R-3-R	Front: 25'	(To be provided)
South:	Vacant; R-1A	Side(Int): 5'	
East:	Single Family; R-1	Side(St): 12-1/2'	
West:	Vacant & Drainage Canal; R-1 & R-1A	Rear: 15'	

Parking Required:	275 spaces at 1.5 spaces per unit plus 1 guest space per 15 units
Parking Provided:	350 spaces
Property Dimensions:	350 ft. x 1,750 ft.
Property Area:	13+ acres
Density of Development:	13.2 d.u. per acre
Square Footage of Building:	Unit A=751 sq. ft; Unit B=825 sq. ft; Unit C=1,005 sq. ft.
Height of Building:	2 stories, 39 feet
Topography:	Flat
Street Improvements:	Existing

002906

Utilities:	To be extended
Exterior Building Materials:	Stucco, aluminum windows, steel tubing; wood siding
Roof Material:	Composition asphalt shingle
Building Colors:	Earthtones

BACKGROUND INFORMATION: On May 13, 1981 the City Planning Commission approved a community plan amendment to Light Density Multi-Family, a rezoning to R-1A, and a tentative map and special permit to develop 172 airspace condominium units on the subject site. The tentative map and special permit expired. On January 26, 1986, the City Council approved a tentative map to establish a 172 unit air space condominium on one lot of 13 acres at the subject site. The Planning Commission approved the special permit for condominium development on December 5, 1985. (P85-454) The request was never finalized, therefore, all permits expired. The applicant submitted a new request on May 22, 1987 to develop 212 unit condominiums. On January 5, 1988, the request was withdrawn due to the density exceeding the maximum allowed in the R-1A Zone. (P87-251) The applicant has resubmitted for 172 unit condominium lot as originally requested in 1981 and 1985 on two lots.

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On March 8, 1989 by a vote of 6 ayes and 3 absent, the Subdivision Review Committee voted to recommend approval of the tentative map subject to conditions.

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of one lot totaling 13+ acres in the Townhouse (R-1A) zone. Surrounding land uses include vacant land to the north, south, and west, and a single-family subdivision to the east. The General Plan designates the site for residential uses 16 to 21 du/net acre and the 1986 South Sacramento Community Plan designation is Medium Density Residential 11-21 du/net acre.

The applicant is proposing to develop a 172 unit condominium complex on the subject site with a density of 13.2 dwelling units per acre. The South Sacramento Community Plan indicates that condominiums are an appropriate use for the subject site and the project is also within the density range required by the Community Plan.

B. Project Description

The applicant is proposing a two lot subdivision with a total of 88 units on Lot 1, the northern lot totaling 6.7+ acres and 84 units on Lot 2, the southern lot totaling 6.3+ acres. Since two separate lots are being established for condominium development, two separate sets of C.C. and R's will be established as well as two Homeowner's Associations when individual interests are being sold. The project is different from that approved in 1985 in that only one lot was established with 172 units.

The applicant's site plan proposes a total of 40 one bedroom Unit A's; 56 one bedroom with den Unit B's and 76 two bedroom, 2 bathroom Unit C's. A comparison of the previous size units follows:

		<u>Unit A</u>	<u>Unit B</u>	<u>Unit C</u>	
(P85-454)	-	172 units	759 sq. ft.	820 sq. ft.	1,010 sq. ft.
(P87-251)	-	212 units	751 sq. ft.	825 sq. ft.	1,005 sq. ft.
(P88-360)	-	172 units	751 sq. ft.	825 sq. ft.	1,005 sq. ft.

The breakdown of units by lot follows:

<u>Lot 1 - (Northern Lot)</u>	<u>Lot 2 - (Southern Lot)</u>	<u>Total</u>
Unit A - 16 units	Unit A - 25 units	40
Unit B - 32 units	Unit B - 24 units	56
Unit C - <u>40 units</u>	Unit C - <u>36 units</u>	<u>76</u>
Total 88 units	Total 84 units	172

Parking is to be provided through a mix of garages at a density of one garage per dwelling and 192 open parking spaces. Total required parking is 275 spaces with 354 spaces being provided. The following is a breakdown of provided parking by lot:

<u>Lot 1 - (Northern Lot)</u>	<u>Lot 2 - (Southern Lot)</u>	<u>Total</u>
Number of Units - 88 units	84	172 units
Required Parking - 141 spaces	134	275 spaces
Garages Parking - 103 spaces	59	162
Open Parking - <u>112 spaces</u>	<u>80</u>	<u>192</u>
Total Parking 215 spaces	139	354 spaces

Staff is concerned over the disproportional share of parking without garages proposed for Lot 2. Due to the need to redesign the layout and placement of buildings, staff recommends that on each lot, the ratio of one garage per unit be provided and adequate outdoor parking provided per lot as per the Multiple Family Design Guidelines, Exhibit A.

C. Site Design and Layout

Several major site constraints will require the redesign of the project to make it functional.

1. Sound Wall - The results of the noise study call out for a 13 to 11 foot high sound wall along Franklin Boulevard with noise attenuation measures designed in the second story apartment units. Staff supports the increase of setback along Franklin Boulevard for all buildings to 30 feet so that a 5 foot high landscaped berm could be constructed with the crest of the berm containing a 6 foot high solid decorative masonry wall. The applicant could also design a retaining wall 5 feet in height to which landscaping could rise up to and a 6 foot high wall constructed on top of the retaining wall. Staff does not support construction of a 11 foot to 13 foot high sound wall along Franklin Boulevard which would result in a "walled-in" visual impact. Alternative designed including parking adjacent to a retaining wall with garage or carport are suggested.

2. Elder Creek Drainage Canal - The Public Works Department commented that the site is within the 100 year floodplain. Levees for both the North Fork and South Fork of Elder Creek may need to be raised and widened. Provision of the necessary right-of-way to meet the FEMA levee standards is required by Engineering. The specific additional right-of-way can not be determined at the time of this report.
3. Onsite Flooding - The project engineer provided the City Public Works Department spot elevations for contour establishment of base flood level. The applicant is required to raise foundations to be a minimum of one foot above the base flood elevation. With the filling of the site and possible levee widening, the site requires redesign to allow drainage to flow around the site and off the site.
4. Site Design - The project includes the additional guidelines for condominium development listed in Section I of Exhibit A. The purpose of these additional design amenities are to encourage owner occupancy through higher quality residential amenities than normally associated with conventional multi-family development. Among the modifications to be shown on the revised site plan and floor plans are:
 - a. each unit ~~should~~ *shall* have enclosed parking space in a garage. Garages should be attached to each unit served if possible. (*staff amended*)
 - b. washing and dryer hook ups ~~are to~~ *shall* be provided in each unit. (*staff amended*)
 - c. each unit shall have an enclosable space for storage.
 - d. an area ~~is to~~ *shall* be designated for outdoor vehicle storage for residents. (*staff amended*)
 - e. ~~since the project contains 172 units,~~ a centrally located recreation building with space for association meetings shall be included ~~in the project.~~ (*staff amended*)
 - f. at least 50 percent or 86 units ~~should~~ *shall* be either two or three bedroom units. (*staff amended*)

Staff recommends that the applicant redesign the site plan to comply with the multiple family design guidelines for condominium projects. The revised drawings shall show the following items which were previously required.

- a. recreation building or club house for homeowners use.
- b. swimming pool and recreational facilities.
- c. recreational vehicle storage areas for homeowners use to store boats, trailers and motor homes.
- d. screening of all outdoor vehicle storage areas.

- e. bicycle storage facilities.
- f. trash enclosures complying with trash enclosure guidelines.
- g. common laundry facilities are not allowed.

The submitted site plan indicates a 25 foot building setback from the Franklin Boulevard right-of-way. Staff recommends that this area be increased to 30 feet and be landscaped with a variety of trees and shrubs and minimum five foot high berm with six foot high sound wall. Walkways crossing this landscaped area from Franklin Boulevard to the condominium units should be prohibited to prevent parking along Franklin Boulevard.

The site is surrounded on the remaining three sides by a drainage canal. Staff recommends that large evergreen trees should be planted adjacent to the north, south and west property lines in order to screen the canal from the condominium units. Should the levees require widening, landscaping is to be relocated. A swimming pool and pond were previously indicated but not shown on the site plan. The location of these facilities should be shown on the revised site plan subject to Planning Director review and approval.

Traffic Engineering has also required as a tentative map condition for the developer to construct a traffic signal at the intersection of the project driveway, Boyce Drive and Franklin Boulevard in order to assist in regulating traffic flow. This requirement is due to the increase in trip generations resulting from the construction of the project.

D. Building Design

The applicant proposes to construct the condominium structures utilizing stucco with wood trim. Staff notes that the buildings are attractively designed and will be compatible with adjacent residential uses. Staff recommends that a wood shake roofing material be used, subject to Planning Director review and approval. The applicant should also be aware that the height limit in the Garden Apartment zone is 35 feet. The elevations should reflect this height requirement. The end elevations need to be redesigned with window elements.

Specific plans have not been submitted for garages, trash enclosure facilities, recreational facilities nor bicycle enclosure facilities. Specific elevations and locations for these facilities shall be submitted for review and approval of the Planning Director prior to issuance of building permits. The applicant should use the guidelines outlined in the Multiple Family Residential Design Criteria when designing these facilities (Exhibit A). The garages shall be designed to compliment the main buildings.

E. Other Concerns

The applicant is required to provide one foot contour lines on the subdivision map. The spot elevations are not adequate for determination of appropriate building grade level for FEMA.

The site will require filling and compaction so that a geotechnical report and compliance with the Uniform Building Code is required for structural foundation design and construction.

Perimeter lighting, including lighting of proposed outdoor storage area, pool area or tennis courts, shall be directed onsite and not reflect offsite onto residentially zoned or used properties.

Should phasing of the development occurs, all required Public Works improvements shall be installed as part of Phase 1.

F. Conclusion

Staff finds the proposal to be an appropriate land use for the subject site and compatible with surrounding land uses. Adequate parking, landscaping and recreational facilities will be provided. Staff, therefore, recommends approval of the requested entitlements.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project as proposed will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated the following mandatory mitigation measures into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects would occur:

A. The project site lies partially within the Zone AO floodplain on the current Flood Insurance Rate Maps (February 4, 1988). This zone is defined as being inundated by flood waters to a depth of a 1 to 3 feet in the event of a 100 year flood. The City's Public Works Department has noted that the levels for both the north and south fork of Elder Creek may need to be raised and widened (correspondence 3-8-89). The following mitigation measures are recommended to provide flood protection.

1. Provide the necessary right-of-way to comply with FEMA levee standards.
2. All habitable dwellings shall be constructed such that the floor area is at least one foot above the FEMA 100 year flood elevation for the site.

B. Either of the following mitigation measures is recommended to reduce noise levels to an acceptable level:

1. Construct a 13 foot high sound barrier along the Franklin Boulevard frontage of the property. The barrier shall wrap around the corners of both the north and south entrances for a distance of 15 feet. The barrier shall utilize a combination of earth berm and solid masonry material. The wall height shall be measured from the sidewalk elevation along Franklin Boulevard.
2. Construct a six foot high sound barrier along the Franklin Boulevard frontage as per the above specifications (including a combination of berm and masonry construction materials and wrapping around the corners of the entrances for a distance of 15 feet) and eliminate all second story balconies and all units

with a view of Franklin Boulevard must be constructed with windows that have an STC rating of 44 or better and must be provided with a mechanical ventilation system. Window and door frames (including sliding doors) of these units must be installed with a minimum clearance to the building structure and the gap between the window frame and structure filled with expandable foam and sealed with a non-hardening resilient caulking before mounting the trim.

Non compliance with, or deletion of any of the above mitigation measures by any party will require the project to be reprocessed for additional environmental review. If this review determines that there is the possibility for significant adverse environmental impact due to the development of the project, additional mitigation measures may be required, or the applicant may be requested to prepare an Environmental Impact Report if identified impacts cannot be reduced to less than a significant level through mitigation.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratify the negative declaration;
- B. Recommend approval of the tentative map subject to conditions which follow;
- C. Approval of the special permit, subject to conditions and based upon Findings of Fact which follow:

Tentative Map Conditions

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Dedicate a 12.5-foot Public Utility Easement for underground and over-head electrical and public utility facilities and appurtenances adjacent to Franklin Boulevard.
2. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
3. Prepare a sewer and drainage study for the review and approval of the City Engineer;
4. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map; (1.8656 fee acres)
5. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;

6. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required eighty percent (80%) south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code;
7. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition;
8. Meet all County Sanitation District requirements;
9. Provide a bus turnout on the west side of Franklin Boulevard across from Boyce Drive to the satisfaction of Regional Transit.
10. Dedicate Franklin Boulevard to a 55' halfsection.
11. Place note on the final map; minimum floor elevation shall be 1.0' above the 100 year flood elevation as shown on current FEMA flood maps.
12. Traffic signals at Boyce Drive and Franklin Boulevard shall be constructed by the developer. City shall reimburse developer 50% of cost of the signal following construction.
13. Relocate property line between lot 1 and 2 such that the driveway entrance opposite Boyce Drive will be on one parcel only. This is required to comply with City Code regarding driveway permits.
14. Provide an easement 50' wide by 100' deep opposite Boyce Drive for maintenance of traffic signal loops.
15. The subject parcel is within the 100 year floodplain. Levee's for both north fork and south fork of Elder Creek may need to be raised and widened. Provide the necessary right of way to meet the FEMA levee standards.
16. The final map shall contain the following note: "Final site plan design shall comply with mitigation measures stated in the Negative Declaration for P88-360 on file at the City Planning Department." (Sound wall requirement)
17. All of lots 1 and 2 shall be reserved as a Public Utility Easement for underground and overhead public utility facilities including gas, electric and communications equipment with the exception for where all structures or pool area are located. A note referencing this shall be recorded on the face of the final map and in all deeds.
18. Extension of water distribution mains shall meet City requirements. On-site water system to be private.

19. Approval subject to the following notice: The property on which construction is authorized by this permit may be subject to flooding. It is the applicant's and property owner's responsibility to ascertain whether and to what extent such flooding may occur, and to review the applicable base flood elevations for the proposed project which are contained in the effective Flood Insurance Rate Map; the Department of the Sacramento District Corps of Engineers, Sacramento, California, Flood Insurance Study for the Sacramento City and County of California, FBFM and FIRM work map, dated January 1989; and, all preliminary flood maps available at the City of Sacramento's Planning Division. The Federal Emergency Management Agency and the U.S. Army Corps of Engineers ("Corps") are studying portions of the City of Sacramento to determine what improvements and measures may be needed in order to deem the areas under study adequately protected from a 100 year flood. Until the needed improvements and measures are in place, the areas under study may be subject to flooding by a 100 year or lesser flood. (A "100 year flood" refers to the area subject to inundation by flooding once during any given 100 year cycle; however, such flooding could occur in any given year.) The applicant and property owners should check with the local Corps to ascertain the status of its ongoing study and the projected completion date of any flood control project which might affect the proposed development. Flood insurance may be mandatory in all areas not protected from a 100 year flood, and the City of Sacramento recommends obtaining such insurance whether it is mandated or not. If the investigation of the nature of the flood hazard indicates that the property is at risk, it is the applicant and property owner's responsibility to ensure that all persons holding a record title interest in the property, and all subsequent owners, tenants, occupants, and other interested parties receive notice, as required under applicable law, of the flooding risk to which the property may be subject. This notice is intended to ensure that those persons choosing to develop property in an area subject to flooding have knowledge and the means of acquiring knowledge of the particular risks involved in such development. This notice shall not create liability on the part of the City of Sacramento, or any of its officers, agents, or employees for any damages to persons or property caused by flooding. (Added by Staff)

Conditions - Special Permit

1. Detailed landscaping shading and irrigation plans shall be submitted for staff review and approval prior to issuance of building permits. The revised plans shall indicate minimum four foot high undulating berm with six foot high masonry in the landscaped setback adjacent to Franklin Boulevard and large evergreen trees adjacent to the north, south and west property lines. Walkways crossing the landscaped area from Franklin Boulevard to the condominium units are prohibited.
2. The applicant shall prepare a revised site plan and elevations indicating the location and type of trash enclosure facilities, recreational amenities and bicycle parking facilities, subject to Planning Director review and approval prior to issuance of building permits.
3. The revised site plan shall meet the requirements of the Traffic Division.

4. The final site plan and building design shall comply with the mitigation measures stated in the Negative Declaration for P88-360 on file at the City Planning Department). (Sound Wall).
5. The project shall conform to the attached Multiple Family Residential Design Criteria (Exhibit A) *which includes the following: (staff added)*
 - a. *each unit shall have enclosed parking space in a garage. Garages should be attached to each unit served if possible.*
 - b. *washing and dryer hook ups shall be provided in each unit.*
 - c. *each unit shall have an enclosable space for storage.*
 - d. *an area shall be designated for outdoor vehicle storage for residents.*
 - e. *a centrally located recreation building with space for association meetings shall be included in the project.*
 - f. *at least 50 percent or 86 units shall be either two or three bedroom units.*
6. The applicant shall provide a geotechnical report prepared by a recognized professional engineering geologist or firm to the satisfaction of the City Building Official prior to the issuance of a building permit.
7. The applicant shall conform to the requirements of the Uniform Building Code and all other State and local regulations governing excavations and foundation and structural design and construction.
8. The site plan and final subdivision map shall indicate contour lines with intervals of one foot.
9. All security and perimeter lighting shall be directed toward the center of the site. Perimeter lights shall be shielded or directed so that adjacent residential areas are not subject to light and glare.
10. Trash enclosures shall be provided in sufficient number and in a convenient location. Trash enclosures shall have trellis covers to screen view from second story units.
11. The applicant shall submit elevations of the garage structure. Garages shall be trimmed with a material which is compatible with the proposed condominium units and painted a color to match the residential units.
12. The buildings shall include the following items:
 - a. exterior materials shall include horizontal and/or wood stucco siding with windows or variation on all exterior elevations of the units.
 - b. stairs shall have double stringers.

- c. all roofs shall be covered with wood shake, shingle, tile material or heavy butt composition shingle (30 year life) that is approved by the Planning Director.
13. The applicant shall provide a swimming pool, a clubhouse facility and tennis or handball courts. Design of facilities shall be reviewed and approved by the Planning Director. No common laundry area shall be shown.
14. Roof line on two story buildings shall be broken up and not a continuous line.
15. Each lot shall have a minimum of one garage per unit and adequate outdoor vehicle parking based upon the Multiple Family Design Guidelines. (Exhibit A)
16. Reciprocal use and access easements may be necessary if two lots are not developed together. Recreational facilities shall be constructed as part of Phase I development if the project is phased.
17. *Approval subject to the following notice: The property on which construction is authorized by this permit may be subject to flooding. It is the applicant's and property owner's responsibility to ascertain whether and to what extent such flooding may occur, and to review the applicable base flood elevations for the proposed project which are contained in the effective Flood Insurance Rate Map; the Department of the Sacramento District Corps of Engineers, Sacramento, California, Flood Insurance Study for the Sacramento City and County of California, FBFM and FIRM work map, dated January 1989; and, all preliminary flood maps available at the City of Sacramento's Planning Division. The Federal Emergency Management Agency and the U.S. Army Corps of Engineers ("Corps") are studying portions of the City of Sacramento to determine what improvements and measures may be needed in order to deem the areas under study adequately protected from a 100 year flood. Until the needed improvements and measures are in place, the areas under study may be subject to flooding by a 100 year or lesser flood. (A "100 year flood" refers to the area subject to inundation by flooding once during any given 100 year cycle; however, such flooding could occur in any given year.) The applicant and property owners should check with the local Corps to ascertain the status of its ongoing study and the projected completion date of any flood control project which might affect the proposed development. Flood insurance may be mandatory in all areas not protected from a 100 year flood, and the City of Sacramento recommends obtaining such insurance whether it is mandated or not. If the investigation of the nature of the flood hazard indicates that the property is at risk, it is the applicant and property owner's responsibility to ensure that all persons holding a record title interest in the property, and all subsequent owners, tenants, occupants, and other interested parties receive notice, as required under applicable law, of the flooding risk to which the property may be subject. This notice is intended to ensure that those persons choosing to develop property in an area subject to flooding have knowledge and the means of acquiring knowledge of the particular risks involved in such development. This notice shall not create liability on the part of the City of Sacramento, or any of its officers, agents, or employees for any damages to persons or property caused by flooding. (Added by Staff)*

Findings of Fact - Special Permit

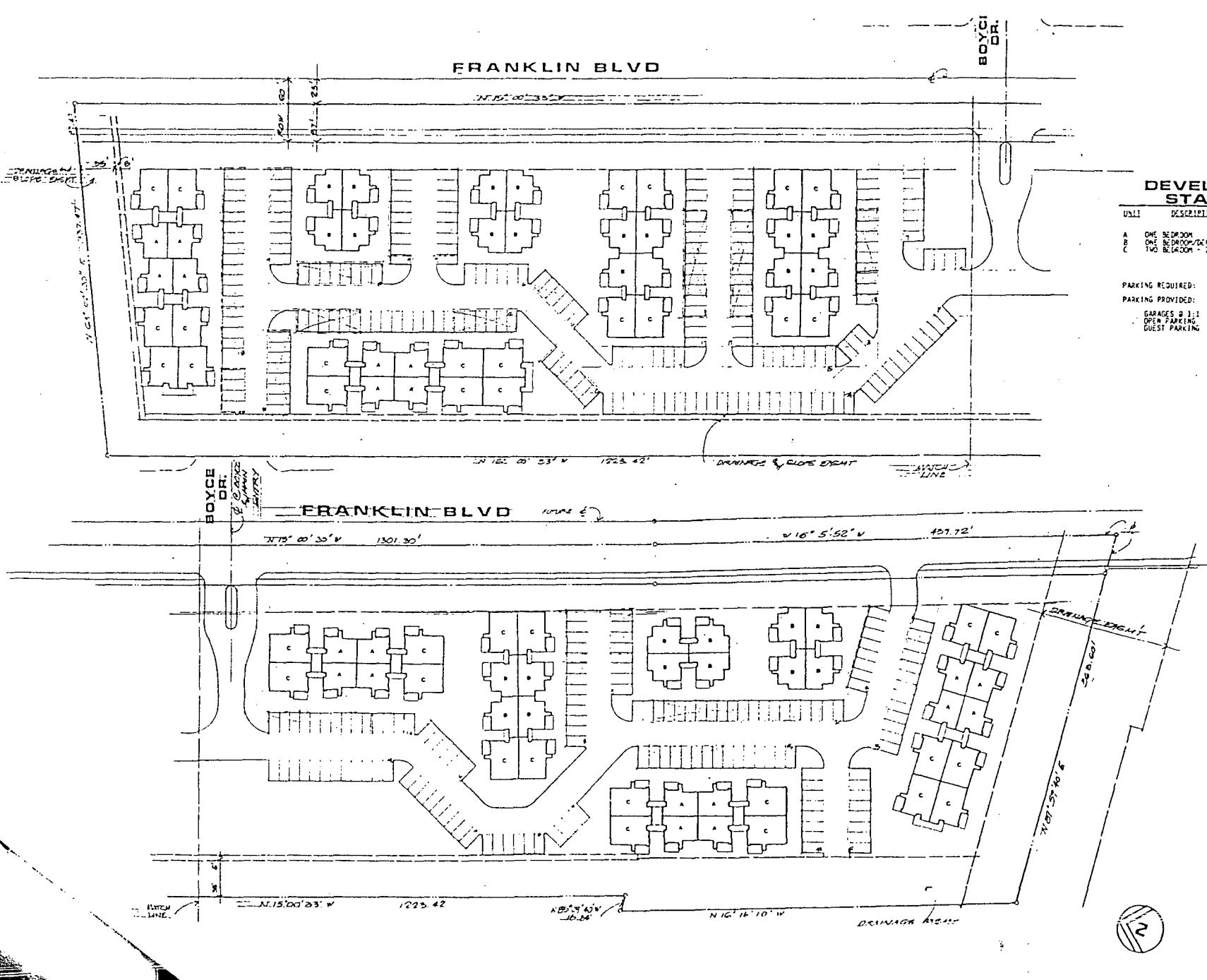
1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. adequate parking is provided;
 - b. the subject site is logically situated for this type of development in that it is conveniently located adjacent to a major street and within 1/4 mile of shopping facilities.
2. The project, as conditioned, will not be injurious to surrounding properties in that provisions have been incorporated to insure its property development (landscaping, sound mitigation measures, garages and parking)
3. The project is consistent with the General Plan goal to:

"Achieve safe and adequate housing for all citizens and provide each with an opportunity for choice between alternative living environments."
4. The proposed project is consistent with the City's 1988 General Plan in that the site is designated for residential uses by the 1986 South Sacramento Community Plan and the proposed condominium project conforms with the plan designation.

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P88-360

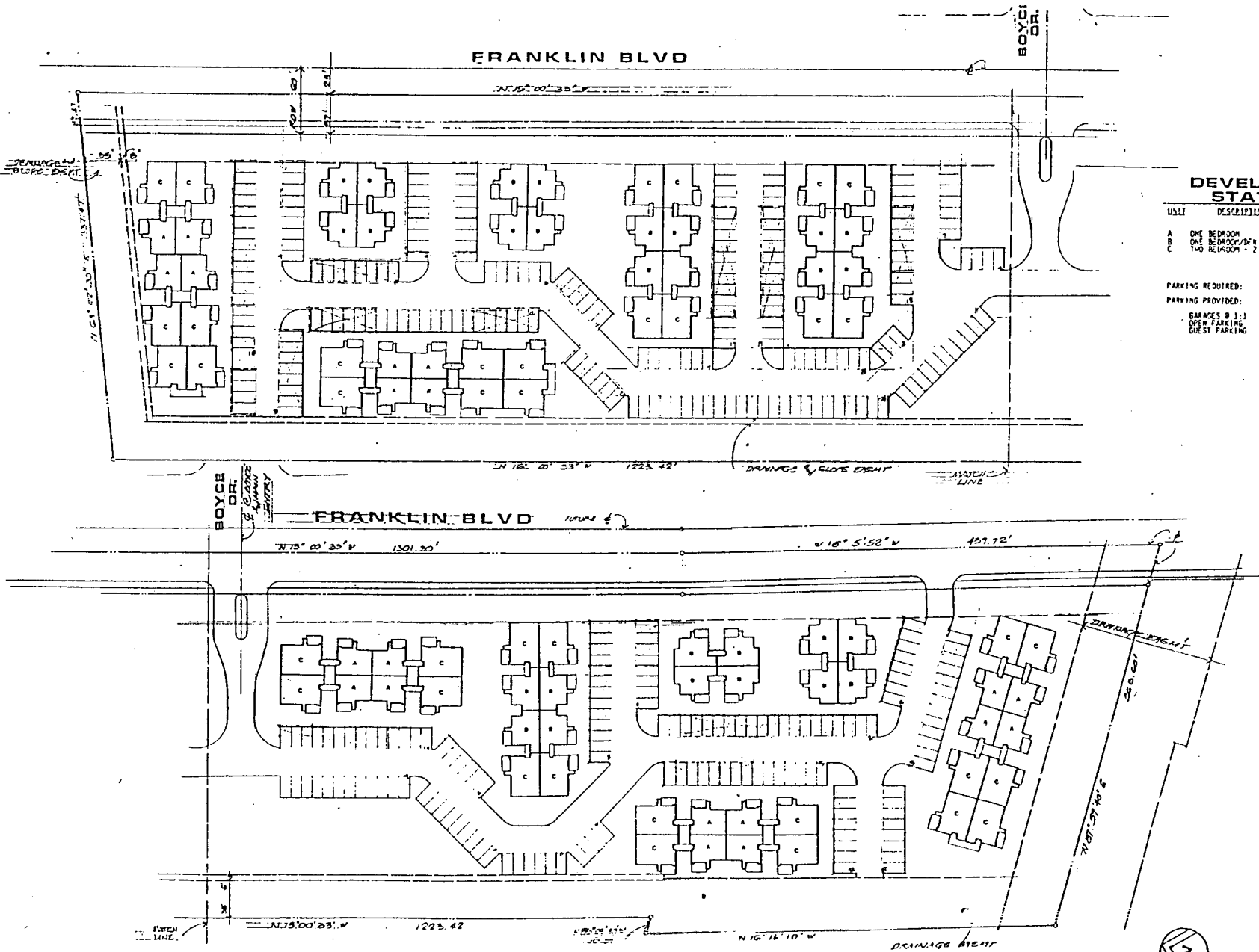
4-13-89
March 23, 1989Item No. 11
19



DEVELOPMENT STATISTICS

UNIT	DESCRIPTION	SIZE IN S.F.	NO.
A	ONE BEDROOM	751	40
B	ONE BEDROOM/TXN	875	56
C	TWO BEDROOM - 2 B	1005	76
TOTAL UNITS:			172
PARKING REQUIRED:		256 CARS	
PARKING PROVIDED:			
GARAGES @ 1:1		172	
OPEN PARKING		158	
GUEST PARKING		26	
TOTAL:			357

12
 44-33-89
 3-23-89
 FRANKLIN VILLAGE #2
 SACRAMENTO, CA
 PLANNING ITEM #
 ARCHITECTURE
 BUZZ GARCIA ASSOCIATES
 1808 J STREET
 SACRAMENTO, CA 95811
 916-441-1111
 1B
 P-88-360
 8888



DEVELOPMENT STATISTICS

UNIT	DESCRIPTION	SIZE IN S.F.	NO.
A	ONE BEDROOM	751	66
B	ONE BEDROOM/2 1/2 B	875	76
C	TWO BEDROOM - 2 B	1065	76
		TOTAL UNITS:	177
PARKING REQUIRED:		258 CARS	
PARKING PROVIDED:			
GARAGES @ 1:1		177	
OPEN PARKING		158	
GUEST PARKING		20	
TOTAL:		355	

buzz garcia associates
ARCHITECTURE PLANNING
1111 COLLEGE AVENUE, SUITE 1111
SAN FRANCISCO, CA 94142

LEGEND:
CALIF. C-43
HAWAII H-1
ARIZONA A-1
NEW MEXICO M-1

FRANKLIN VILLAGE #2
SACRAMENTO, CA

PL 88-360
1B

413-88
323-89

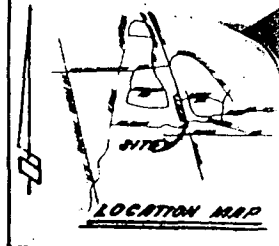
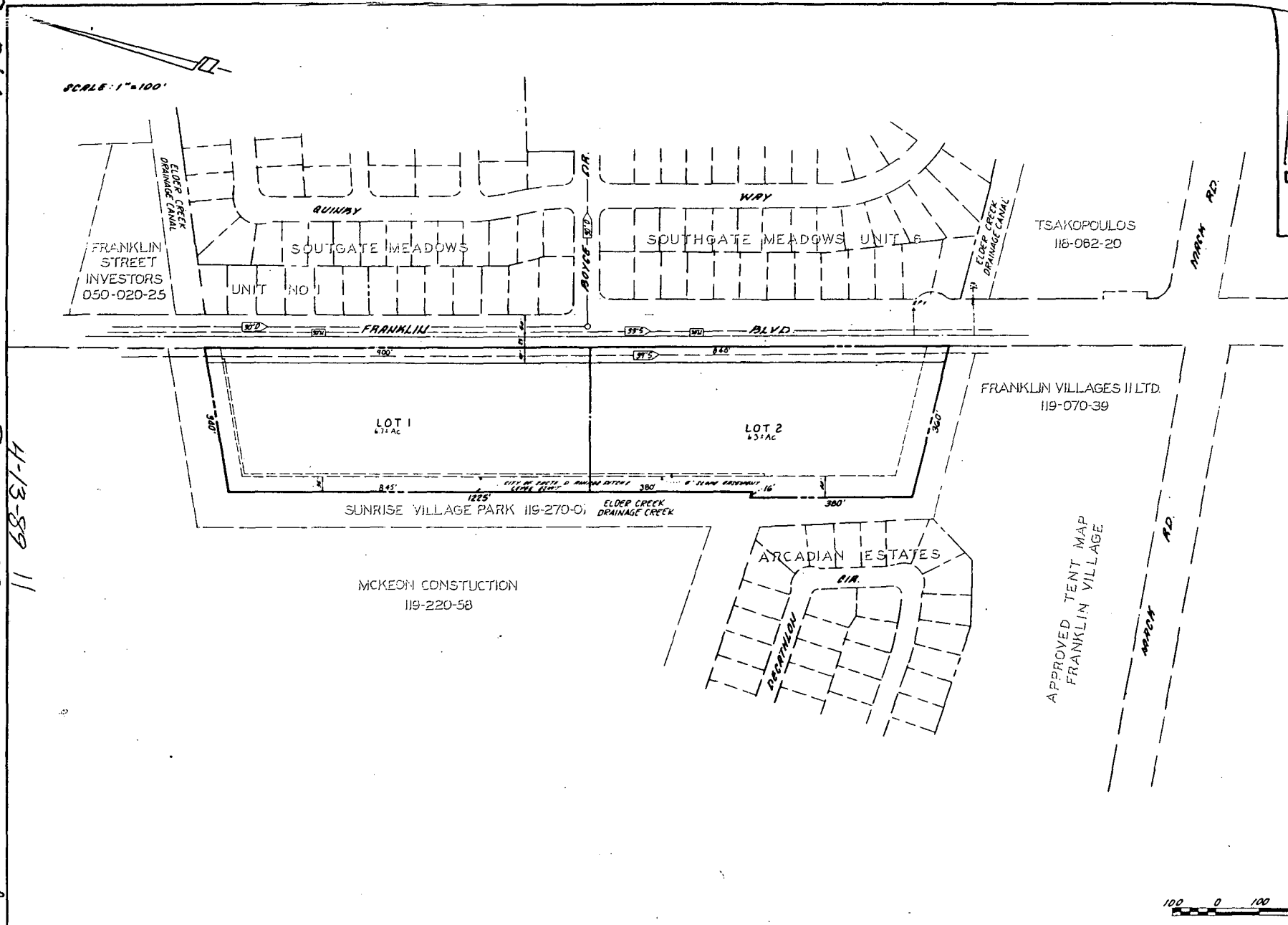


P-88-360

4-13-89 11
3-23-89

Item # 11

SCALE: 1" = 100'



OWNER/DEVELOPER
 ROBERT E. BURKE
 112 SCENIC DRIVE
 ORINDA, CA. 94563

ENGINEER
 MORTON & PITALO, INC.
 1230 ALHAMBRA BLVD., SUITE 200
 SACRAMENTO, CA. 95814

SANITARY SEWER
 CITY OF SACRAMENTO

WATER
 CITY OF SACRAMENTO

ELECTRICITY
 SACRAMENTO MUNICIPAL
 UTILITY DISTRICT

GAS
 PACIFIC GAS & ELECTRIC

SCHOOL DISTRICT
 CITY UNIFIED SCHOOL DISTRICT

ZONING
 R-1A

ACREAGE
 13.2 ACRES

ASSESSOR'S PARCEL NUMBER
 119-07-36

APPROVED TENT MAP
 FRANKLIN VILLAGE

100 0 100 200 300

NO	DESCRIPTION	APPROVED BY	DATE

FIELD BOOK NO	SCALE	DRAWN BY	CHECKED BY
	HORIZONTAL: 1" = 100'	K.H.T.	C.J.J.
	VERTICAL: N/A	SUBMITTED	P.S.E. NO.
		J. PITALO	AG302

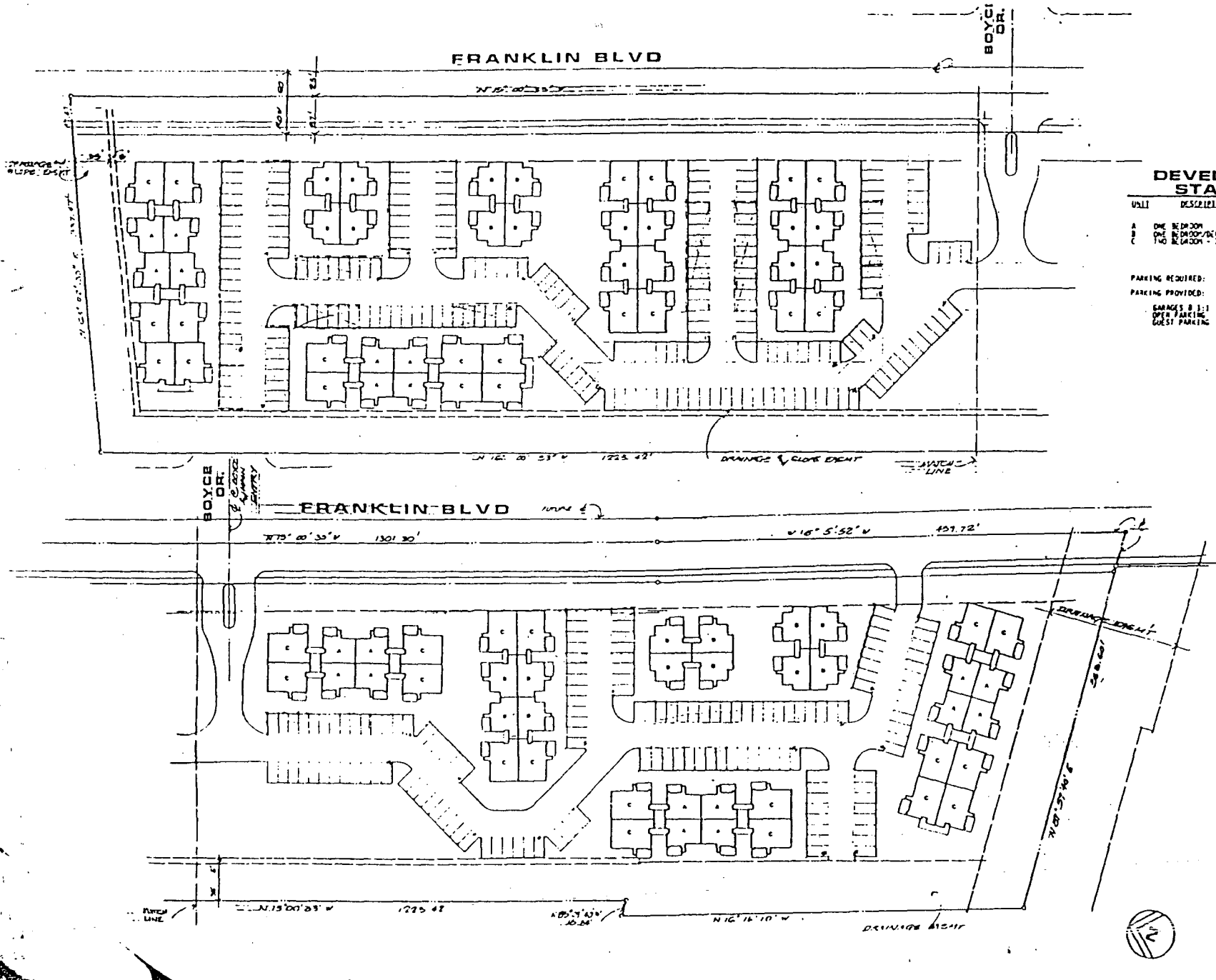
mp MORTON & PITALO, INC.
 CIVIL ENGINEERING
 PLANNING SURVEYING

APPROVED: _____
 DATE: _____

TENTATIVE MRP
FRANKLIN VILLAGE UNIT 3 & 4
 CITY OF SACRAMENTO, CALIFORNIA

DATE	SHEET	OF
MAY 1987	1	1

FILE NO. 8800



DEVELOPMENT STATISTICS

UNIT	DESCRIPTION	SQ. FT. AREA
A	ONE BEDROOM	753
B	TWO BEDROOMS	825
C	TWO BEDROOM - 2 B	1005
TOTAL UNITS:		177
PARKING PROVIDED:		258 CARS
PARKING REQUIRED:		258 CARS
GARAGES 0.3-1 OVER PARKING GUEST PARKING		177
TOTAL:		350'

AUG 1 1989

RESOLUTION No. 89-601

FRANKLIN VILLAGE #2
SACRAMENTO, CA

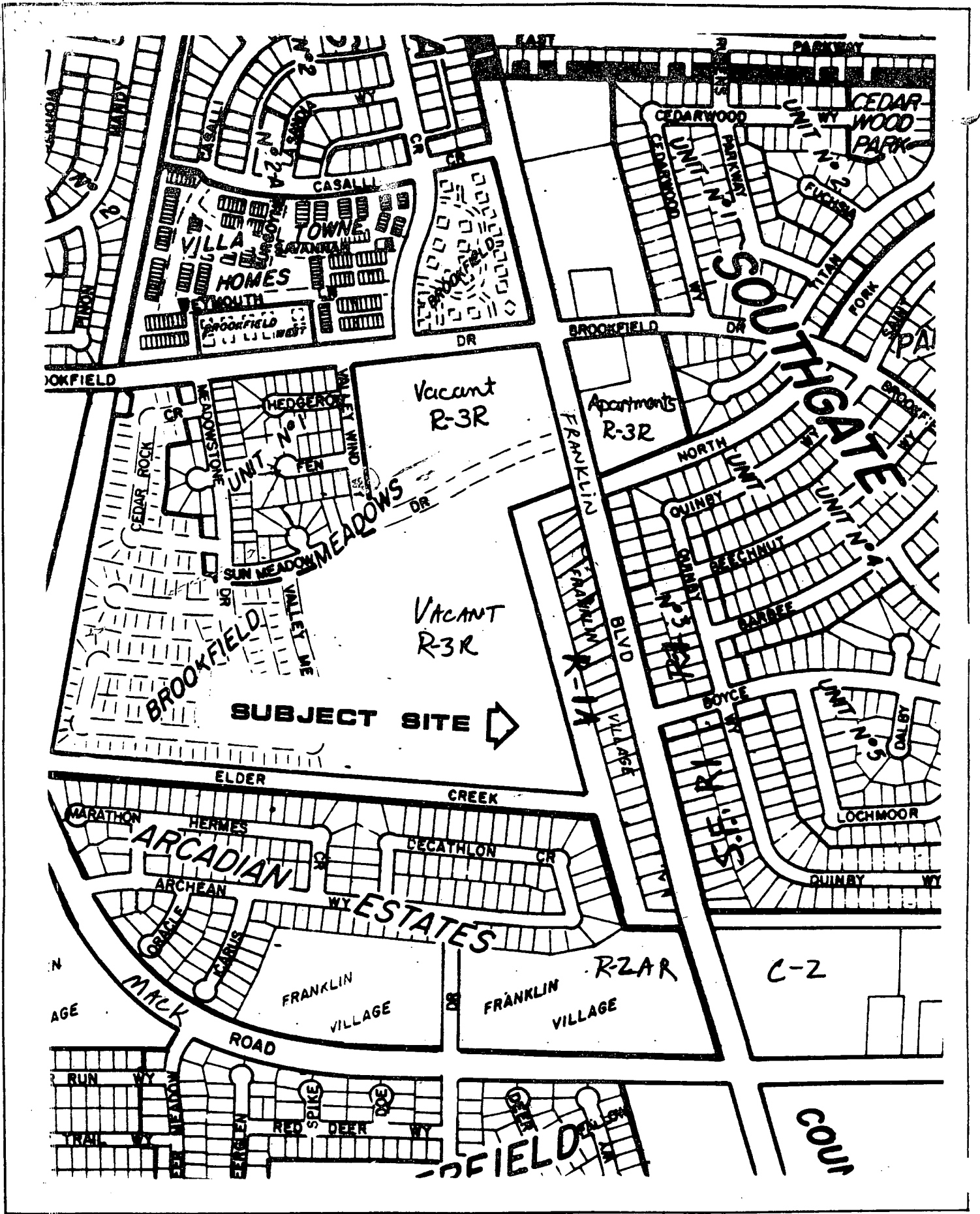
18
P 88-360

4-13-89
3-23-89

12

buzz garcia associates
ARCHITECTURE PLANNING
POINT REST, CALIFORNIA 95951

Item # 4



VICINITY - LAND USE - ZONING

P-88-360

3-27-89
4-13-89 28-89

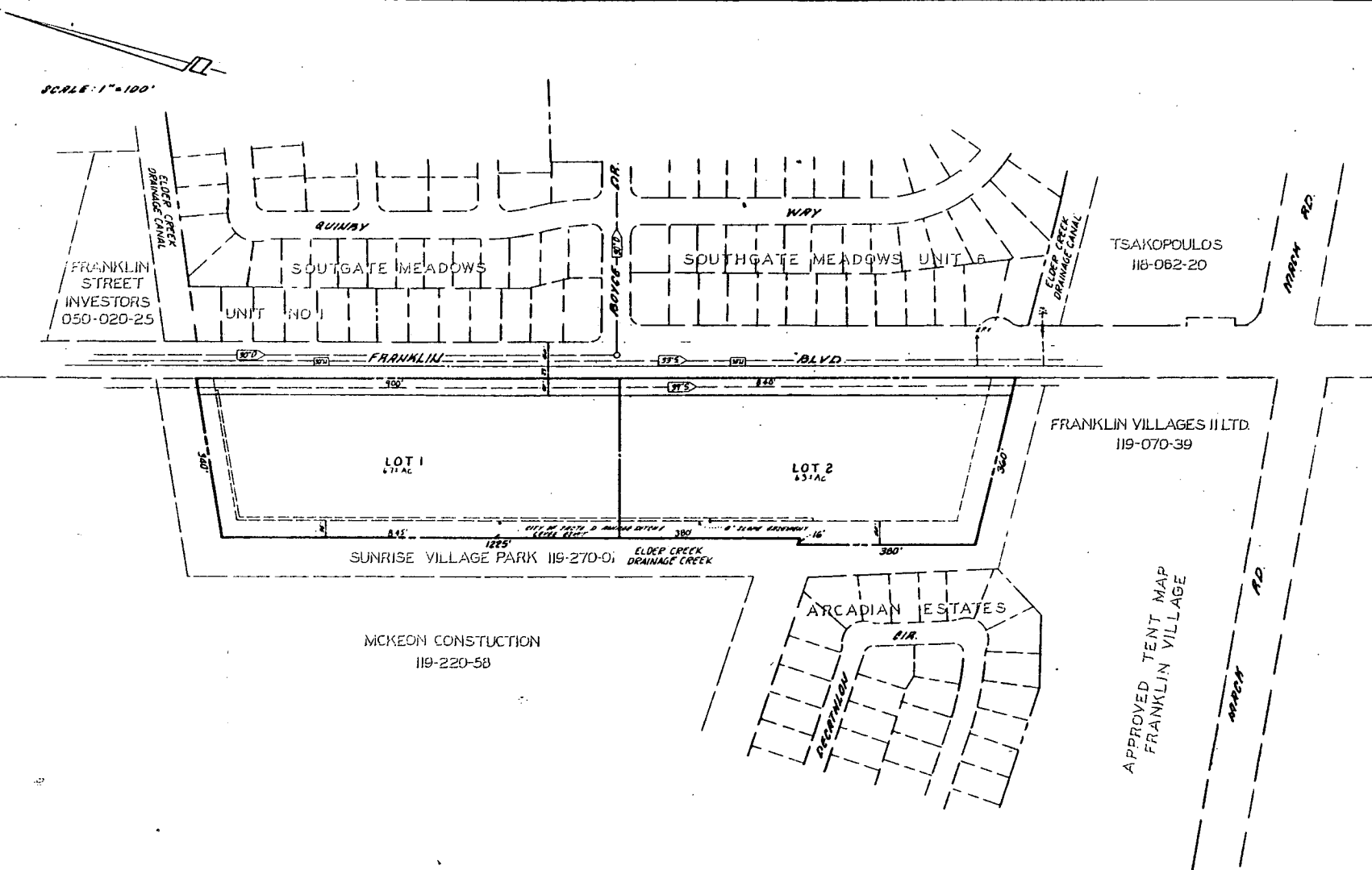
item # 7

P-98-360

4-13-89
3-23-89

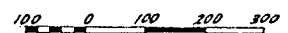
Tom H

SCALE: 1"=100'



- OWNER/DEVELOPER**
ROBERT S. BURKE
112 SCENIC DRIVE
ORTONA, CA. 94563
- ENGINEER**
MORTON & PITALO, INC.
1130 ALHAMBRA BLVD., SUITE 200
SACRAMENTO, CA. 95216
- SANITARY SEWER**
CITY OF SACRAMENTO
- WATER**
CITY OF SACRAMENTO
- ELECTRICITY**
SACRAMENTO MUNICIPAL
UTILITY DISTRICT
- GAS**
PACIFIC GAS & ELECTRIC
- SCHOOL DISTRICT**
CITY UNIFIED SCHOOL DISTRICT
- ZONING**
R-1A
- ACREAGE**
13.2 ACRES
- ASSESSOR'S PARCEL NUMBER**
119-07-36

APPROVED TENT MAP
FRANKLIN VILLAGE



NO	DESCRIPTION	APPROVED BY	DATE

FIELD BOOK NO	SCALE
	HORIZONTAL: 1"=100'
	VERTICAL: 1"=N/A

DRAWN BY: K.H.T.	CHECKED BY: C.J.J.
SUBMITTED: J. PITALO	P.E.S. NO. 16382

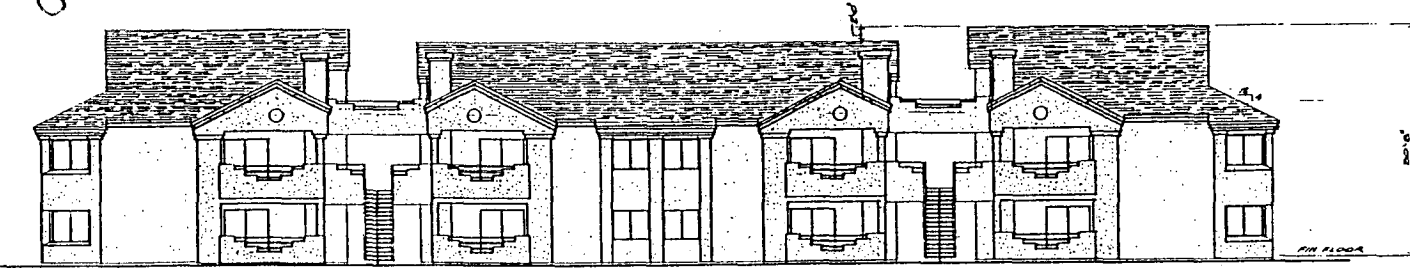
mp MORTON & PITALO, INC.
CIVIL ENGINEERING
PLANNING SURVEYING

APPROVED:	DATE:

TENTATIVE MRP
FRANKLIN VILLAGE UNIT 3&4
CITY OF SACRAMENTO CALIFORNIA

DATE: MAY 1987
SHEET 1
OF 1

P-88-360

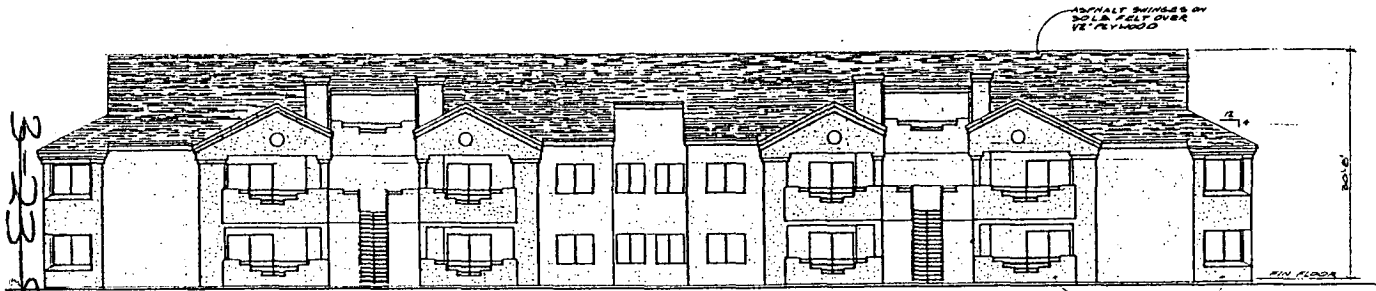


FRONT / REAR ELEVATION

BUILDING #4,6,9

SCALE:

1/4" = 1'-0"

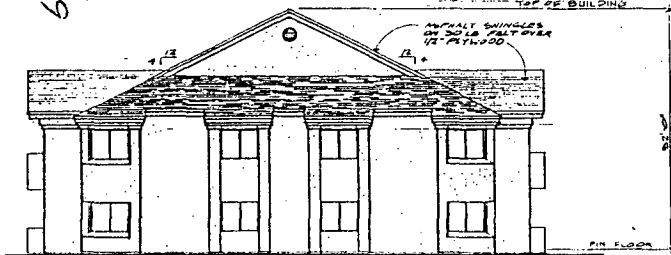


FRONT / REAR ELEVATION

BUILDING #8,5,7

SCALE:

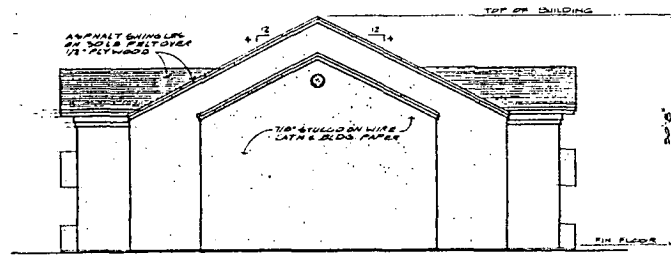
1/8" = 1'-0"



END ELEVATION at 'C' UNIT

SCALE:

1/8" = 1'-0"



END ELEVATION at 'B' UNIT

SCALE:

1/8" = 1'-0"

3-23-89
4-13-89

item #19

buzz garcia associates
ARCHITECTURE PLANNING
POINT WEST CORPORATE CENTER
1810 ARDEN WAY SUITE 202
SACRAMENTO, CALIFORNIA 95811
(916) 481-5000

UNLICENSED
CALIF. C 4328
NEVADA 750
ARIZONA 8153
NEW MEXICO 423

FRANKLIN VILLAGE
SACRAMENTO, CALIFORNIA

B-E-89
DATE
3
SHEET

- e. bicycle storage facilities.
- f. trash enclosures complying with trash enclosure guidelines.
- g. common laundry facilities are not allowed.

The submitted site plan indicates a 25 foot building setback from the Franklin Boulevard right-of-way. Staff recommends that this area be increased to 30 feet and be landscaped with a variety of trees and shrubs and minimum five foot high berm with six foot high sound wall. Walkways crossing this landscaped area from Franklin Boulevard to the condominium units should be prohibited to prevent parking along Franklin Boulevard.

The site is surrounded on the remaining three sides by a drainage canal. Staff recommends that large evergreen trees should be planted adjacent to the north, south and west property lines in order to screen the canal from the condominium units. Should the levees require widening, landscaping is to be relocated. A swimming pool and pond were previously indicated but not shown on the site plan. The location of these facilities should be shown on the revised site plan subject to Planning Director review and approval.

Traffic Engineering has also required as a tentative map condition for the developer to construct a traffic signal at the intersection of the project driveway, Boyce Drive and Franklin Boulevard in order to assist in regulating traffic flow. This requirement is due to the increase in trip generations resulting from the construction of the project.

D. Building Design

The applicant proposes to construct the condominium structures utilizing stucco with wood trim. Staff notes that the buildings are attractively designed and will be compatible with adjacent residential uses. Staff recommends that a wood shake roofing material be used, subject to Planning Director review and approval. The applicant should also be aware that the height limit in the Garden Apartment zone is 35 feet. The elevations should reflect this height requirement. The end elevations need to be redesigned with window elements.

Specific plans have not been submitted for garages, trash enclosure facilities, recreational facilities nor bicycle enclosure facilities. Specific elevations and locations for these facilities shall be submitted for review and approval of the Planning Director prior to issuance of building permits. The applicant should use the guidelines outlined in the Multiple Family Residential Design Criteria when designing these facilities (Exhibit A). The garages shall be designed to compliment the main buildings.

E. Other Concerns

The applicant is required to provide one foot contour lines on the subdivision map. The spot elevations are not adequate for determination of appropriate building grade level for FEMA.

2. Elder Creek Drainage Canal - The Public Works Department commented that the site is within the 100 year floodplain. Levees for both the North Fork and South Fork of Elder Creek may need to be raised and widened. Provision of the necessary right-of-way to meet the FEMA levee standards is required by Engineering. The specific additional right-of-way can not be determined at the time of this report.
3. Onsite Flooding - The project engineer provided the City Public Works Department spot elevations for contour establishment of base flood level. The applicant is required to raise foundations to be a minimum of one foot above the base flood elevation. With the filling of the site and possible levee widening, the site requires redesign to allow drainage to flow around the site and off the site.
4. Site Design - The project includes the additional guidelines for condominium development listed in Section I of Exhibit A. The purpose of these additional design amenities are to encourage owner occupancy through higher quality residential amenities than normally associated with conventional multi-family development. Among the modifications to be shown on the revised site plan and floor plans are:
 - a. each unit should have enclosed parking space in a garage. Garages should be attached to each unit served if possible.
 - b. washing and dryer hook ups are to be provided in each unit.
 - c. each unit shall have an enclosable space for storage.
 - d. an area is to be designated for outdoor vehicle storage for residents.
 - e. since the project contains 172 units, a centrally located recreation building with space for association meetings shall be included.
 - f. at least 50 percent or 86 units should be either two or three bedroom units.

Staff recommends that the applicant redesign the site plan to comply with the multiple family design guidelines for condominium projects. The revised drawings shall show the following items which were previously required.

- a. recreation building or club house for homeowners use.
- b. swimming pool and recreational facilities.
- c. recreational vehicle storage areas for homeowners use to store boats, trailers and motor homes.
- d. screening of all outdoor vehicle storage areas.

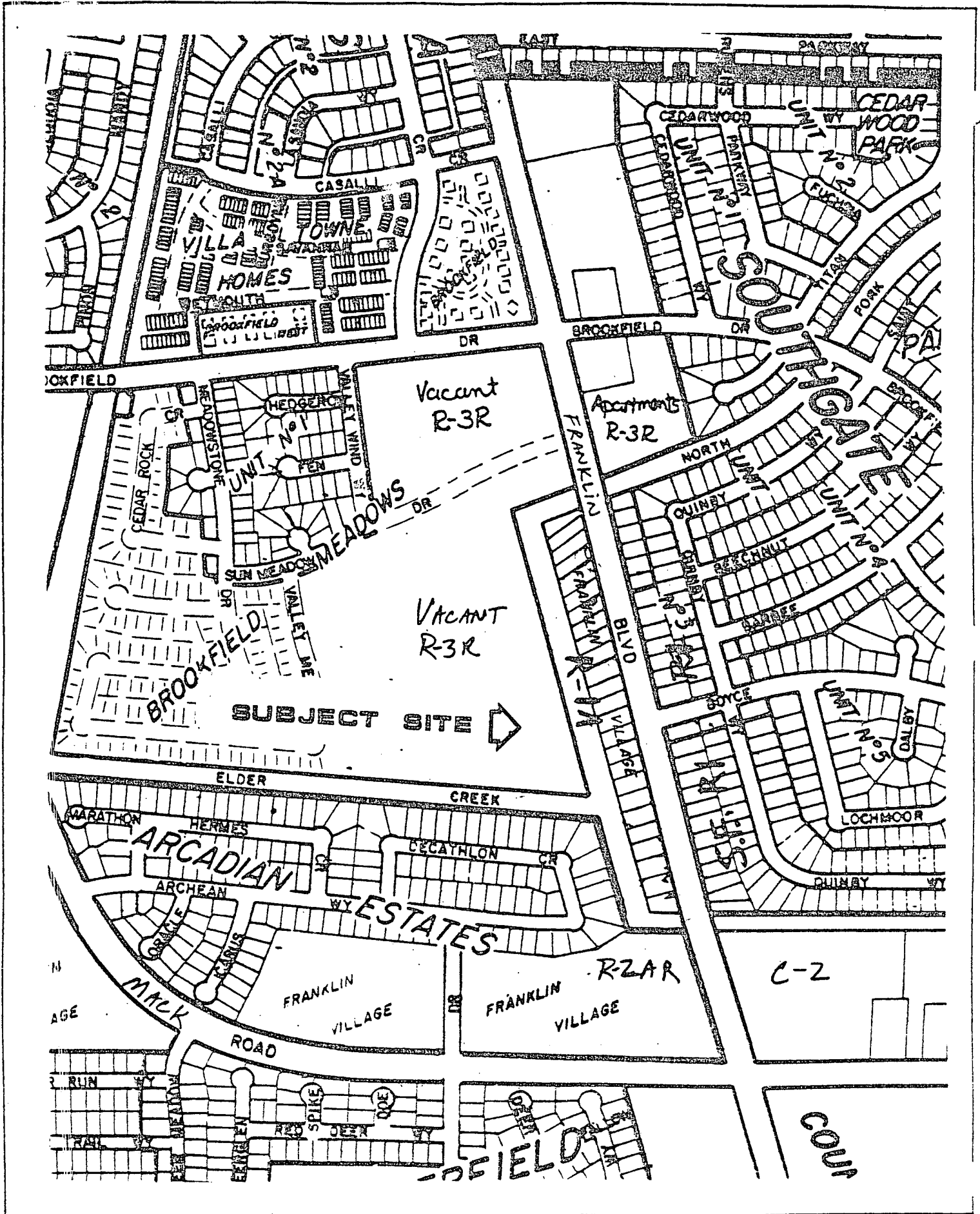
6. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required eighty percent (80%) south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code;
7. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition;
8. Meet all County Sanitation District requirements;
9. Provide a bus turnout on the west side of Franklin Boulevard across from Boyce Drive to the satisfaction of Regional Transit.
10. Dedicate Franklin Boulevard to a 55' halfsection.
11. Place note on the final map; minimum floor elevation shall be 1.0' above the 100 year flood elevation as shown on current FEMA flood maps.
12. Traffic signals at Boyce Drive and Franklin Boulevard shall be constructed by the developer. City shall reimburse developer 50% of cost of the signal following construction.
13. Relocate property line between lot 1 and 2 such that the driveway entrance opposite Boyce Drive will be on one parcel only. This is required to comply with City Code regarding driveway permits.
14. Provide an easement 50' wide by 100' deep opposite Boyce Drive for maintenance of traffic signal loops.
15. The subject parcel is within the 100 year floodplain. Levee's for both north fork and south fork of Elder Creek may need to be raised and widened. Provide the necessary right of way to meet the FEMA levee standards.
16. The final map shall contain the following note: "Final site plan design shall comply with mitigation measures stated in the Negative Declaration for P88-360 on file at the City Planning Department." (Sound wall requirement)
17. All of lots 1 and 2 shall be reserved as a Public Utility Easement for underground and overhead public utility facilities including gas, electric and communications equipment with the exception for where all structures or pool area are located. A note referencing this shall be recorded on the face of the final map and in all deeds.
18. Extension of water distribution mains shall meet City requirements. On-site water system to be private.

- a. exterior materials shall include horizontal and/or wood stucco siding with windows or variation on all exterior elevations of the units.
 - b. stairs shall have double stringers.
 - c. all roofs shall be covered with wood shake, shingle, tile material or heavy butt composition shingle (30 year life) that is approved by the Planning Director.
13. The applicant shall provide a swimming pool, a clubhouse facility and tennis or handball courts. Design of facilities shall be reviewed and approved by the Planning Director. No common laundry area shall be shown.
 14. Roof line on two story buildings shall be broken up and not a continuous line.
 15. Each lot shall have a minimum of one garage per unit and adequate outdoor vehicle parking based upon the Multiple Family Design Guidelines. (Exhibit A)
 16. Reciprocal use and access easements may be necessary if two lots are not developed together. Recreational facilities shall be constructed as part of Phase I development if the project is phased.

Findings of Fact - Special Permit

1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. adequate parking is provided;
 - b. the subject site is logically situated for this type of development in that it is conveniently located adjacent to a major street and within 1/4 mile of shopping facilities.
2. The project, as conditioned, will not be injurious to surrounding properties in that provisions have been incorporated to insure its property development (landscaping, sound mitigation measures, garages and parking)
3. The project is consistent with the General Plan goal to:

"Achieve safe and adequate housing for all citizens and provide each with an opportunity for choice between alternative living environments."
4. The proposed project is consistent with the City's 1988 General Plan in that the site is designated for residential uses by the 1986 South Sacramento Community Plan and the proposed condominium project conforms with the plan designation.



VICINITY - LAND USE - ZONING

