



DEPARTMENT OF
PLANNING AND DEVELOPMENT

CITY OF SACRAMENTO
CALIFORNIA

1231 I STREET
ROOM 200
SACRAMENTO, CA
95814-2998

BUILDING INSPECTIONS
916-449-5716

PLANNING
916-449-5604

**PLANNING DIRECTOR'S SPECIAL PERMIT MODIFICATION
(P92-265)**

APPLICATION: Planning Director's Special Permit Modification to allow a playland to be constructed for an existing McDonald's restaurant with a drive through window on 0.75± developed acres in the General Commercial (C-2) zone.

LOCATION: 6370 Mack Road
APN: 117-0012-020
(District 8)

APPLICANT/OWNER: McDonald's Corporation, c/o Lori Anderson
1750 Howe Ave., Suite #550, Sacramento, CA 95825

BACKGROUND INFORMATION: The drive through was established on this site prior to the special permit requirement for drive throughs. Therefore, staff has determined that a Planning Director's Special Permit Modification is required in order to expand the use with a playland.

APPLICANT'S REQUEST: The applicant is requesting a special permit modification for an existing McDonald's Restaurant in order to construct an outside playland with 16 seats. The proposed playland is to be located on the north side of the restaurant fronting Mack Road.

ANALYSIS: The proposed playland will be approximately 1100± square feet in area and is to be constructed on the north side of the existing McDonald's Restaurant, which fronts Mack Road. The playland will be setback 50 feet from the front property line. A 25 foot driveway will be adjacent to the playland. The playland will be enclosed with a six foot high wrought iron fence with access to the playland through the restaurant or from the walkway adjacent to the playland. Staff sees no conflict with the location of the playland. Upon site inspection, staff noted that there is an existing 25 foot landscaped berm fronting on Mack Road. The existing landscaping should provide a buffer

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for the playland from the street. The plans also indicate that landscaping shall be retained to the east of the playland adjacent to the walkway for the restaurant.

In addition to the proposed playland and increase of seats is proposed. An additional 16 seats will be located in the playland area. The existing restaurant has a seating capacity of 74 seats which requires 25 parking spaces a total of 30 parking spaces will be required with the addition of 16 seats. The subject site currently has 41 parking spaces on site. No additional parking spaces will be required for the additional seating since adequate parking is available on the subject site.

The plans do not indicate any additional signage for the restaurant. However, staff did note that an existing sign is located where the proposed playland will be constructed. All signage (existing or proposed) shall comply with the Sign Ordinance.

During the site visit staff noted a recycling dumpster located in a parking space to the west of the restaurant. Several pieces of cardboard were scattered around the bottom of the bin (Exhibit C). Section 34 of the Zoning Ordinance requires recycling receptacles to be placed in the trash enclosure or adjacent to the trash enclosure. Adequate area is provided adjacent to the trash enclosure to allow expansion of the enclosure to accommodate the recycling bin if necessary. Staff recommends that the recycling bin be placed inside the enclosure or the enclosure expanded to accommodate the recycling bin.

RECOMMENDATION: Staff recommends the Planning Director approve the special permit modification to allow an outdoor playland and additional seats subject to conditions and based upon findings of fact which follow.

Conditions

1. The applicant shall relocate the recycling bin to the trash enclosure area or enlarge the trash enclosure area to accommodate the recycling bin.
2. The maximum seating capacity, indoor and outdoor, of the restaurant shall be 123 seats, based on the 41 parking spaces located on the site.
3. The landscaping east of the playland adjacent to the walkway shall be retained.
4. The landscaping west of the playland adjacent to the trash enclosure shall be retained.
5. A decorative wrought iron fence shall be installed around the playland area.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that an outside playland is compatible with the existing restaurant use.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare nor result in the creation of a nuisance in that adequate setbacks, on-site

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parking, driveway widths and landscaping is provided.

3. The project is consistent with the General Plan which designate the site as Community/Neighborhood Commercial and Offices and the 1986 South Sacramento Community Plan which designates the site as General Commercial.

REPORT PREPARED BY:

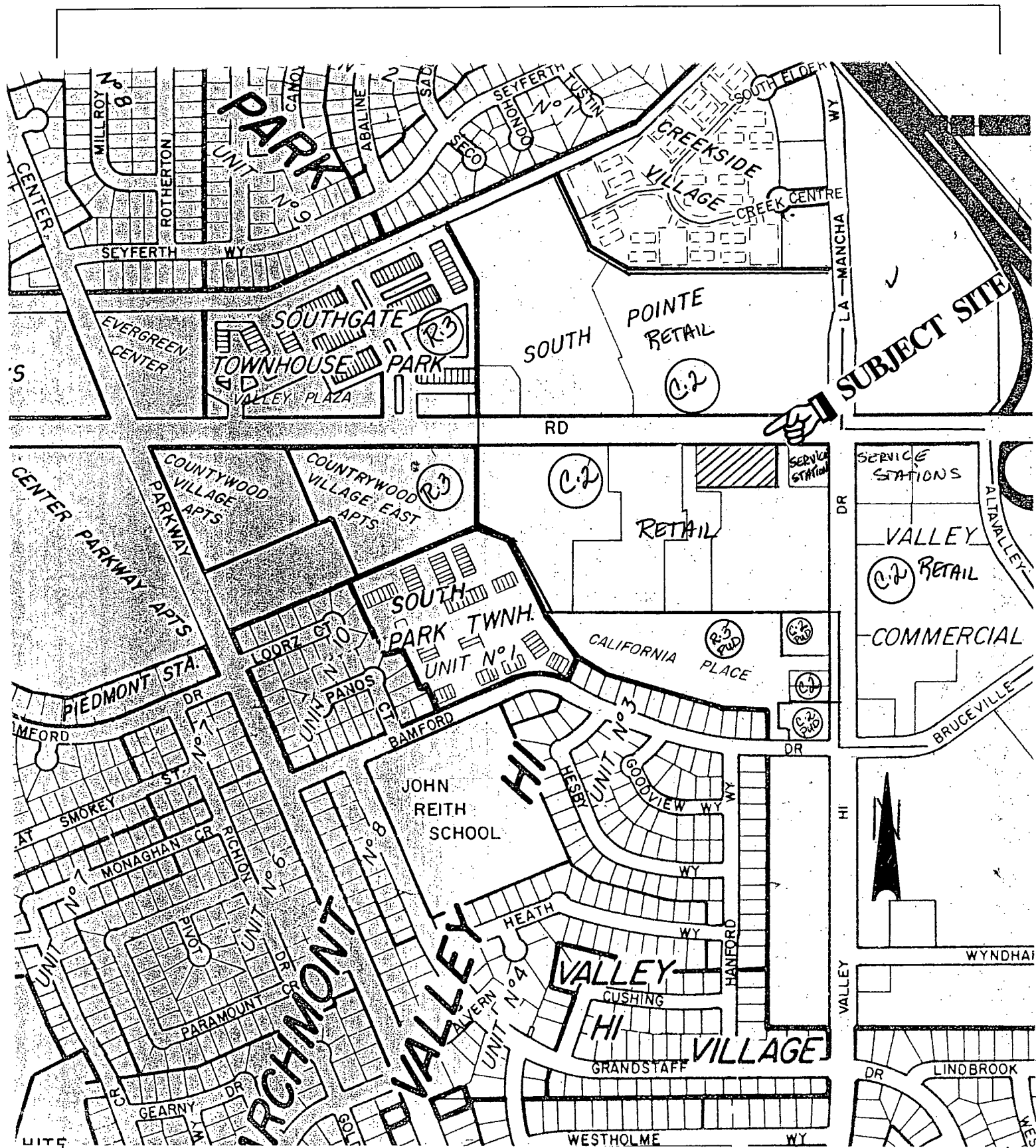
Jeanne Corcoran
Jeanne Corcoran, Assistant Planner

10/13/92
Date

REPORT APPROVED BY:

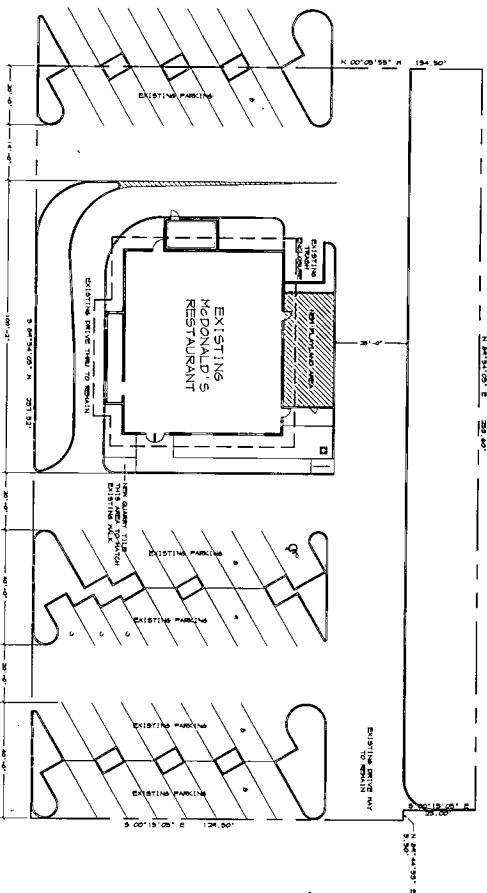
Gary Stonehouse
Gary Stonehouse, Planning Director

10-13-92
Date



VICINITY, LAND USE AND ZONING MAP

1013



SITE PLAN

GENERAL NOTES

- 1) In case of discrepancy concerning dimensions, quantities, the contractor shall provide drawings, calculations, etc., or other supporting documents in writing, which document have precedence. There shall be no objection to the contractor's request for clarification from the distribution of discrepancies.
 - 2) Failure to comply with the above conditions shall be deemed evidence that the contractor has neglected his work.
 - 3) The contractor shall investigate, verify and be responsible for all conditions and dimension of the project and shall notify the architect about conditions requiring modification before proceeding with work.
 - 4) Dimension:
 - a) The contractor's responsibility is to verify all dimensions and conditions of the job site and to corrected details on all dimensions shown on the architectural drawings with related requirements on the structural, mechanical, electrical and/or plumbing drawings.
 - b) The contractor shall be responsible for all discrepancies between the field work and the drawings.
 - c) All dimensions shown on the R.O.S. (Force of laws) unless (Certified) as shown.
 - d) Certification over the R.O.S. must always state:
 - e) All dimensions are taken from the centerline.
 - f) All dimensions shall be verified in the field before proceeding with the work.
 - 5) Provide all necessary, orthographic blocking, backing and framing required for the work not included in the contract. Necessary machinery equipment, and labor partitions.
 - 6) All materials, fixtures, hardware, equipment, and labor partitions.
 - 7) Door size indicated on drawings or opening dimensions. Allowances for thresholds, etc. shall be taken for top door sizes.
 - 8) Details normally typical (T.D.) shall apply in all cases unless specifically indicated otherwise.
 - 9) Where no specific detail is shown, the framing or construction shall be identical or similar to that indicated for like cases of construction on the project.
- Require decisions to be constructed during the total improvement phase.

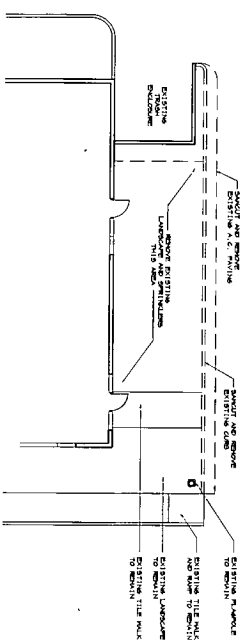
MATERIAL SPECIFICATIONS	
VANOSITY	PA = 1500 MPa
WELDING	W = 500 MPa
ROBUST	W = 500 MPa
CONCRETE	FC = 2000 MPa
REINFORCING	FC = 2000 MPa
STRUCTURAL STEEL	AY 4515 = CR 40
NON-STEEL	AY 4515 = CR 40

SYMBOLS	
DOOR NUMBER	OFFICE
REVISION	ROOM NAME
WINDOW NUMBER	ROOM NUMBER
DELT NUMBER	HYPERBOLIC POINT
SHEET NUMBER	FRISH DETAILION
SECTION NUMBER	EXISTING ELEVATION
KEY NUMBER	KEY NOTE NUMBER

PROJECT DATA	
OWNER	WEDDARD'S CORPORATION 1000 HONG KONG ST. STE. 550 LOS ANGELES, CA 90012 (213) 646-7568 (213) 646-7197
PROJECT ADDRESS	6370 West Road Sunnyvale, CA 95023 (415) 353-1140 004-1093
LOCATION CODE	41
PARKING EXISTING	41
NEW PARKING (TOTAL)	675 SF.
NEW PLANT AND AREA	74
EXISTING RESTAURANT SEATING	16
NEW OUTDOOR SEATING	16
TOTAL SEATING	30

<h1>INDEX OF DRAWINGS</h1>	<p>A-1 SITE PLAN/STANDARD MAP/PLAT</p> <p>A-2 FLOOR PLAN/SECTION/CROSS-SECTIONS</p> <p>C-1 ELECTRICAL PLAN</p>	<h2>CONSULTANTS</h2>	<p>ARCHITECT: HENRY H. HARRIS ARCHITECTURAL 1100 W. 10TH AVE. ANAHEIM, CALIFORNIA 92805 (916) 372-0050</p> <p>ELECTRICAL ENGINEER: JAMES H. HARRIS 1100 W. 10TH AVE. ANAHEIM, CALIFORNIA 92805 (916) 367-7300</p> <p>CIVIL ENGINEERING FIRM: MCKINLEY'S CIVIL ENGINEERING FIRM 1100 W. 10TH AVE. ANAHEIM, CALIFORNIA 92805 STE. FIVE/ONE • JAMES HARRIS OWNER</p>
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VICINITY MAP



DEMOLITION PLAN

REVISIONS			
NO.	DATE	ITEMS	BY

ISSUE DATE:	DRAWN:	CHECKED:	BUILDING:
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MCDONALD'S CORPORATION
MCDONALD'S PLAZA
OAK BROOK, ILLINOIS 60521

GABRIEL CARRILLO
ARCHITECTURAL GROUP INC.
1321 Howe Ave. Suite 202
Sacramento, California 95825
916-922-0550

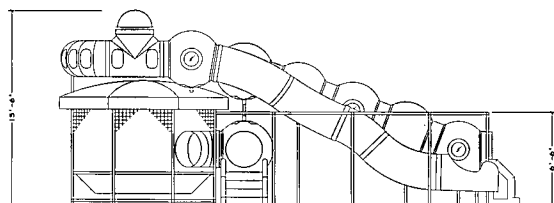
EXHIBIT - A
SITE PLAN

EXHIBIT - A

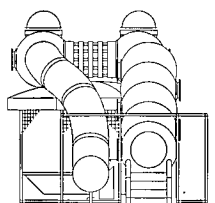
1015



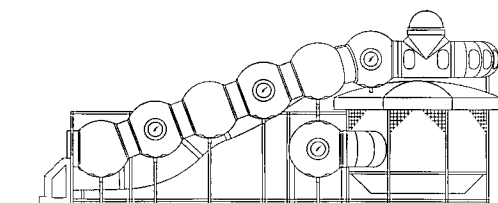
FLOOR PLAN



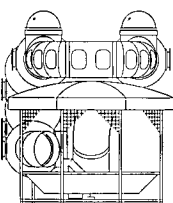
LEFT SIDE ELEVATION



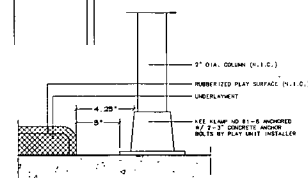
FRONT ELEVATION



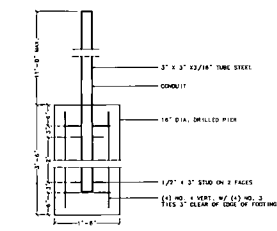
RIGHT SIDE ELEVATION



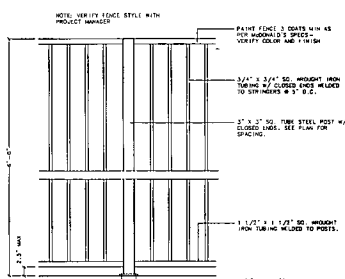
REAR ELEVATION



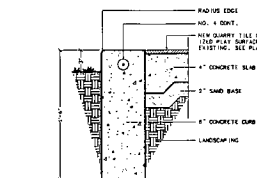
6 SLAB AT UNIT



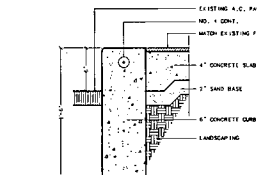
7 LIGHT POLE BASE



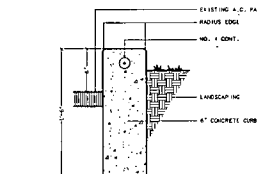
8 PARTIAL FENCE DETAIL



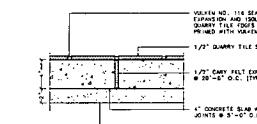
1 CURB AT WALK



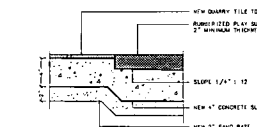
2 CURB AT WALK



3 CURB AT PARKING



4 QUARRY TILE



5 SLAB DEPRESSION

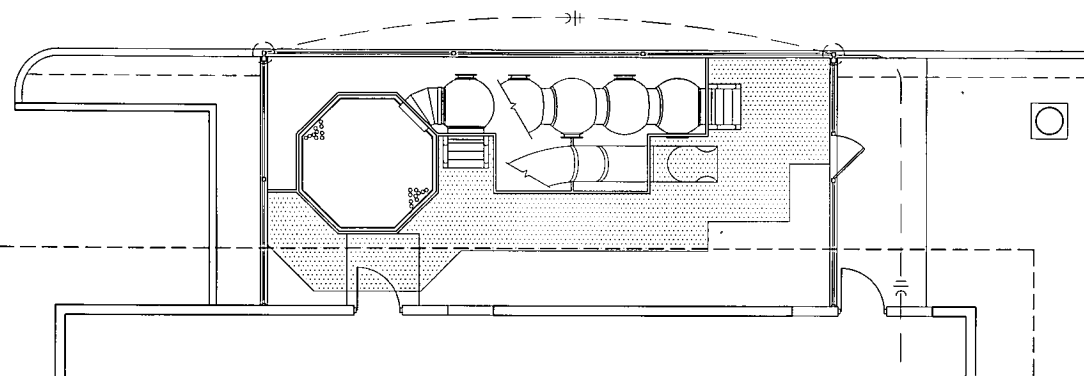
MCDONALD'S CORPORATION MCDONALD'S PLAZA OAK BROOK, ILLINOIS 60521		REVISIONS	
NO.	DATE	ITEMS	BY
GABRIEL CARRILLO ARCHITECTURAL GROUP INC.		ISSUE DATE:	DRAWN:
137 Hawthorn Ave., Suite 202 Somerville, California 94865		CHECKED:	BUILDING:

GABRIEL CARRILLO

8201 9/ 6370 MACK ROAD, SACRAMENTO, CALIFORNIA

EXHIBIT - B

1015



ROUTE TO (E) "LP"
 PROVIDE (1)(N) 20/1 BREAKER
 CIRCUIT 2 FIXTURES TO NEW BREAKER

ELECTRICAL FLOOR PLAN

1/4"=1'-0"

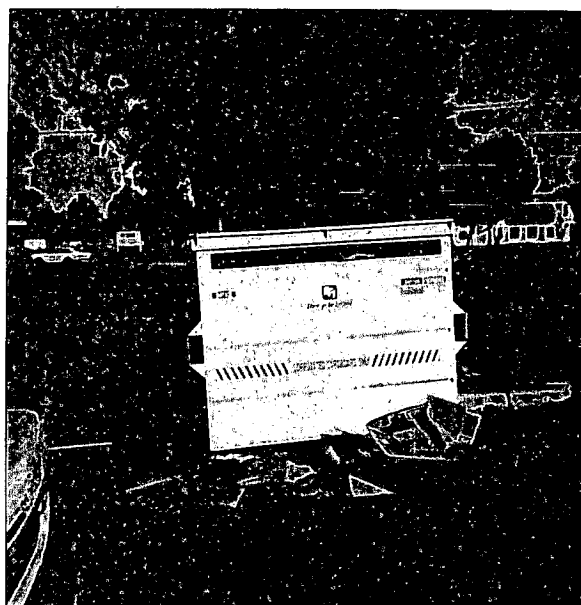


ELECTICAL NOTES

1. MINIMUM WIRE SIZE SHALL BE #12 AWG UNLESS OTHERWISE STATED.
2. THE USE OF "BX" WIRE PERMITTED BY LOCAL CODES, WILL BE ALLOWED FOR FINAL CONNECTION FROM THE LAST JUNCTION BOX TO THE LIGHTING FIXTURE. "RHEX" IS NOT ACCEPTABLE.
3. ALL CIRCUIT BREAKERS SHALL BE THE BOLT-ON TYPE.
4. CONDUCTOR INSULATION SHALL BE "THW" MOISTURE AND HEAT-RESISTANT TYPE THERMO-PLASTIC, 75 DEGREE C. TEMPERATURE RATED EXCEPT WHERE NOTED. CONDUCTORS SHALL BE COPPER EXCEPT WHERE NOTED.
5. ALL CONDUIT TO BE 3/4" UNLESS OTHERWISE NOTED.
6. MAXIMUM LOAD FOR ALL CIRCUITS IS 80A.
7. BRANCH BREAKERS IN DISTRIBUTION PANELS LP, AP-1, AND AP-2 TO HAVE A MINIMUM NEMA SYMMETRICAL RATING NOT LESS THAN AVAILABLE A.I.C. AND IN ANY CASE, NOT LESS THAN 10,000 A.I.C. BREAKERS IN RP PANEL TO HAVE A MINIMUM NEMA SYMMETRICAL RATING OF 18,000 AMPS.
8. ALL CIRCUIT BREAKERS USED TO SWITCH FLUORESCENT LIGHT FIXTURES SHALL BE APPROVED FOR THE PURPOSE AND MARKED "SD".
9. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE PROPER IDENTIFICATION AND LABELING OF ALL CIRCUIT BREAKERS. EACH PANEL SHALL BE PROVIDED WITH A TYPEWRITTEN CIRCUIT DIRECTORY.
10. ALL ELECTRICAL MATERIALS USED MUST BE "UL" LISTED AND LABELED.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE EDITION OF THE NEC PREVAILING AT THE JOB SITE.
12. LIGHTING FIXTURES AND LAMPS SHALL BE CHOSEN TO ACHIEVE MAXIMUM ENERGY CONSERVATION WHILE MAINTAINING ADEQUATE LEVEL OF ILLUMINATION. LAMP SPECIFICATIONS MUST BE STRICTLY FOLLOWED.
13. CONDUIT SHALL CONFORM TO THE FOLLOWING:
 - A. CONCEALED IN CEILINGS AND PARTITIONS - EMT CONDUIT
 - B. CONCEALED IN CONCRETE SLAB-ON-GY OR REINFORCED CONCRETE, WHERE CORROSIVE SOLID EXIST, PVC CONDUIT MAY BE USED UNDERGROUND AT GROUNDING CONDUCTOR.
14. VERIFY CIRCUIT AVAILABILITY IN THE FIELD AND MAKE ALLOWANCES AND ADJUSTMENTS OF CIRCUIT AND PANEL DESIGNATION AS MAY BE REQUIRED.
15. CONDUIT RUNS MAY BE COMBINED EXCEPT WHERE ISOLATED GROUNDS ARE USED.
16. INSIDE OF CONDUIT TO BE FREE OF BURDS.
17. ALL BENDS ON CONDUIT TO BE 6" RADIUS (MIN.)
18. COORDINATE LOCATION OF ALL SPLIT LIGHTS (FIXTURE NO. 10) WITH McDONALD'S PROJECT MANAGER TO AVOID INTERFERENCE WITH ANY CORBELS, BEAMS, OR OTHER SPECIAL EXTERIOR TREATMENTS. INSTALL LIGHT FIXTURES WITH CORRECT ORIENTATION PER INSTRUCTIONS PACKAGED WITH THE FIXTURE.
19. FIELD VERIFY ALL FIXTURE DIMENSIONS SHOWN ON THIS PLAN TO VERIFY THAT THESE FIXTURES DO NOT OBSTRUCT OR CONFLICT WITH THE WORK OF THE OTHER TRADES. IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR BEFORE THE INSTALLATION OF SUCH FIXTURES.
20. VERIFY THAT NO MORE THAN 5% VOLTAGE DROP EXISTS FROM LIGHTING PANEL TO ANY EXTERIOR LIGHTING FIXTURE LAMP OR DISCHARGE LAMP.

REVISIONS		BY	
NO.	DATE	ITEMS	
1	06/19/92	60521	
MCDONALD'S CORPORATION OAK BROOK, ILLINOIS 60521		GABRIEL CARRELO ARCHITECTURAL GROUP INC. 137 West 4th Street, Suite 202 Chicago, IL 60602 (312) 467-8500	
6370 MACK ROAD SACRAMENTO, CALIFORNIA		© 1992 MCDONALD'S CORPORATION	
McDonald's®		THE CENTRE BUILDING DESIGN AND THE MCDONALD'S ROOF DESIGN SHOWN IN THESE DRAWINGS ARE SERVICE MARKS OF MCDONALD'S CORPORATION, REGISTERED IN THE U.S. PATENT AND TRADEMARK OFFICE.	
06/19/92	10030	E-1	
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EXHIBIT - C



P92-265

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