

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & BUILDING
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Wednesday, May 5, 2004 the Zoning Administrator approved with conditions a plan review modification to convert two apartment units into storage space and a Variance to reduce the rear yard setback for storage space in the Multi Family (R-3) zone for the project known as (File Z04-044). Findings of Fact and conditions of approval for the project are listed on pages 2-3.

Project Information

Request:

1. **Zoning Administrator Plan Review Minor Modification** to convert two units totaling approximately 700 square feet into storage space for an existing apartment complex on 0.27± developed acres in the Multi Family (R-3) zone.
2. **Zoning Administrator Variance** to reduce the required rear yard setback from fifteen feet to eleven feet for 700 square feet of storage space for an existing apartment complex on 0.27± developed acres in the Multi Family (R-3) zone.

Location: 4411 Del Rio Road (D4, Area 2)

Assessor's Parcel Number: 017-0073-018

Applicant: Kevin Lew
4750 Norm Circle
Sacramento, CA 95822

Property Owner: Howard Lew
4750 Norm Circle
Sacramento, CA 95822

Project Planner: Lindsey Alagozian

General Plan Designation: Medium Density Residential 16-29 du/na
Existing Land Use of Site: Residential, Apartments
Existing Zoning of Site: Multi-Family (R-3)

Surrounding Land Use and Zoning:

North: R-3; Apartments
South: R-3; Apartments
East: R-1; Single Family
West: C-1; Shopping Center

Property Dimensions: Irregular

Z04-044

May 5, 2004

Item 7

Property Area: 0.27± acres
 Topography: Flat
 Street Improvements: Existing
 Utilities: Existing

Project Plans: Exhibits A, B, and C

Previous Files: None

Additional Information

The site is developed with a ten-unit apartment complex and eight parking spaces. Two of the ten units were constructed without permits and planning approval. The site is approximately 0.27 acres in size and thus permits a maximum of eight units. The owner purchased the apartment complex as a 10-unit complex and is now requesting to legalize the structure by converting the two illegal units into storage space located at the rear of the property. The owner will use the storage area as personal storage space and will not be rented or leased. The existing structure is located 11 feet from the rear property line and therefore requires a Zoning Administrator Variance to reduce the rear yard setback from fifteen feet to eleven feet for storage space. The project also requires a Plan Review Modification because the site is located in the Multi Family (R-3) zone.

The site was posted and the surrounding property owners within 100 feet from the property corners were notified. In addition, the Land Park Neighborhood Association was notified of the proposed project. Staff received two phone calls requesting additional information about the project but no opposition to the project was expressed.

Environmental Determination This project will not have a significant effect on the environment and is exempt from environmental review pursuant to California Environmental Quality Act Guidelines, Section 15303, New Construction or Conversion of Small Structures.

Variance Conditions of Approval:

General

1. The project shall be constructed in compliance with submitted plans.
2. The applicant shall obtain the necessary building permits prior to commencing construction.

Building

3. Plans shall be submitted for a change of occupancy building permit.

Utilities

Advisory Note


4. The proposed project is located in the 100-year floodplain, designated as an A99 zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) that have been revised by a Letter of Map Revision effective May 22, 2000. Within the A99 zone, there are no requirements to elevate or flood proof.

Plan Review Modification Conditions of Approval:

5. The storage units shall be used by the owner only and cannot be rented, leased, or utilized by anyone other than the owner.

Findings of Fact:

1. Granting the Variance does not constitute a special privilege extended to an individual applicant in that:
 - a. the area of the reduced rear yard abuts the side yard of existing apartment complex; and
 - b. the project is designed to blend in with the surrounding community; and
 - c. other variances have been approved under similar circumstances.
2. Granting the Variance request does not constitute a use variance in that apartments are a permitted use in the Multi Family (R-3) zone.
3. Granting the request will not be injurious to the public health, safety, or welfare nor result in a nuisance in that:
 - a. the residential structure will not negatively impact neighboring property owners; and
 - b. the project will provide adequate open space; and
 - c. the storage space will only be utilized by the owner of the apartment complex.
4. The project is consistent with the General Plan which designates the subject site Medium Density Residential 16-29 du/na.

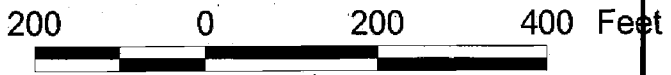
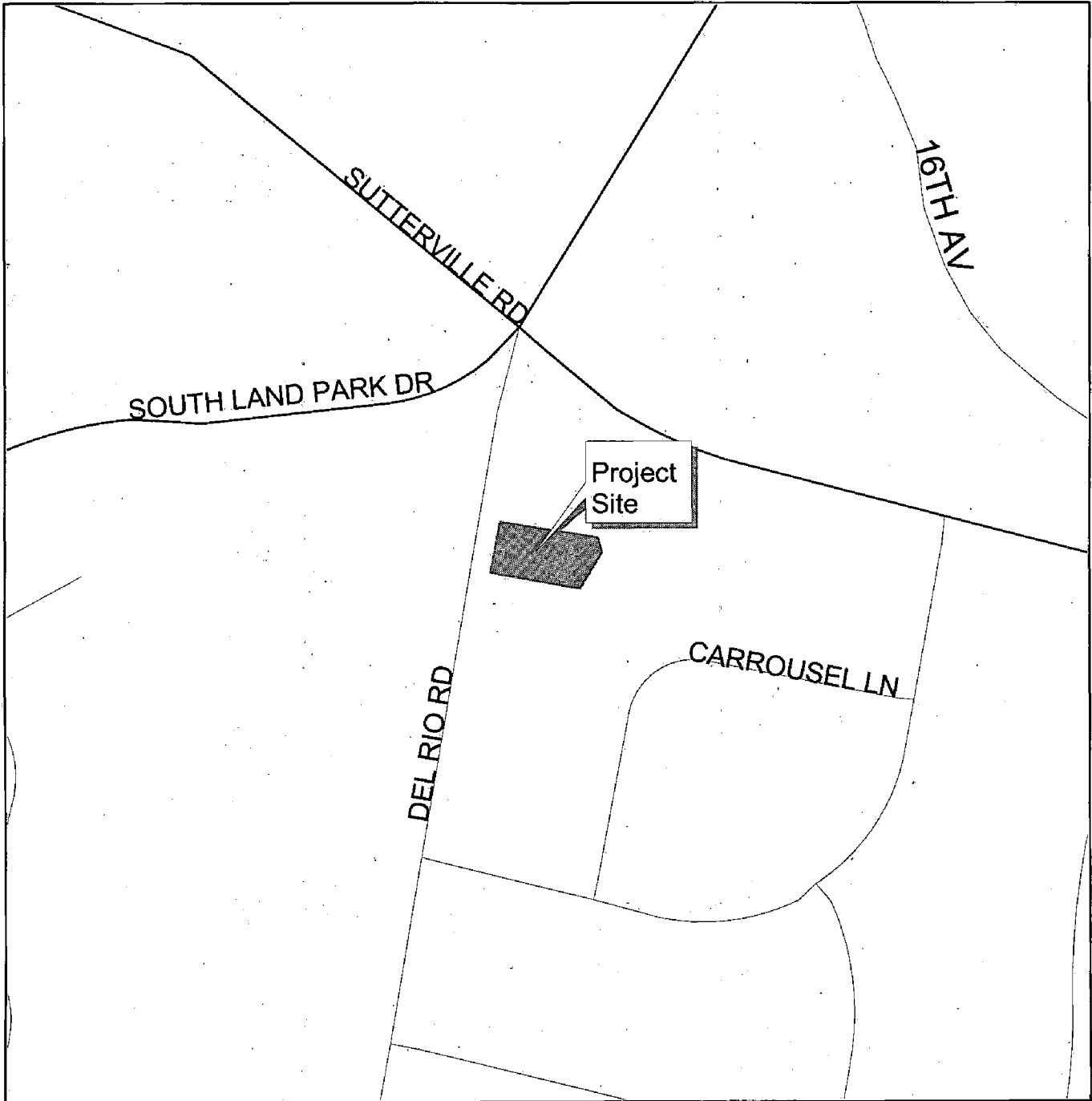


Joy D. Patterson
Zoning Administrator

A use for which a Variance is granted must be established within two years after such permit is approved. If such use is not so established the Variance shall be deemed to have expired and shall be null and void. A Variance use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required the use shall be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File (original) ZA Log Book Applicant

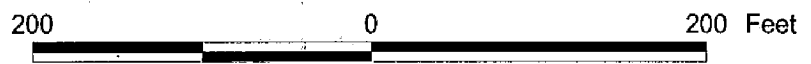
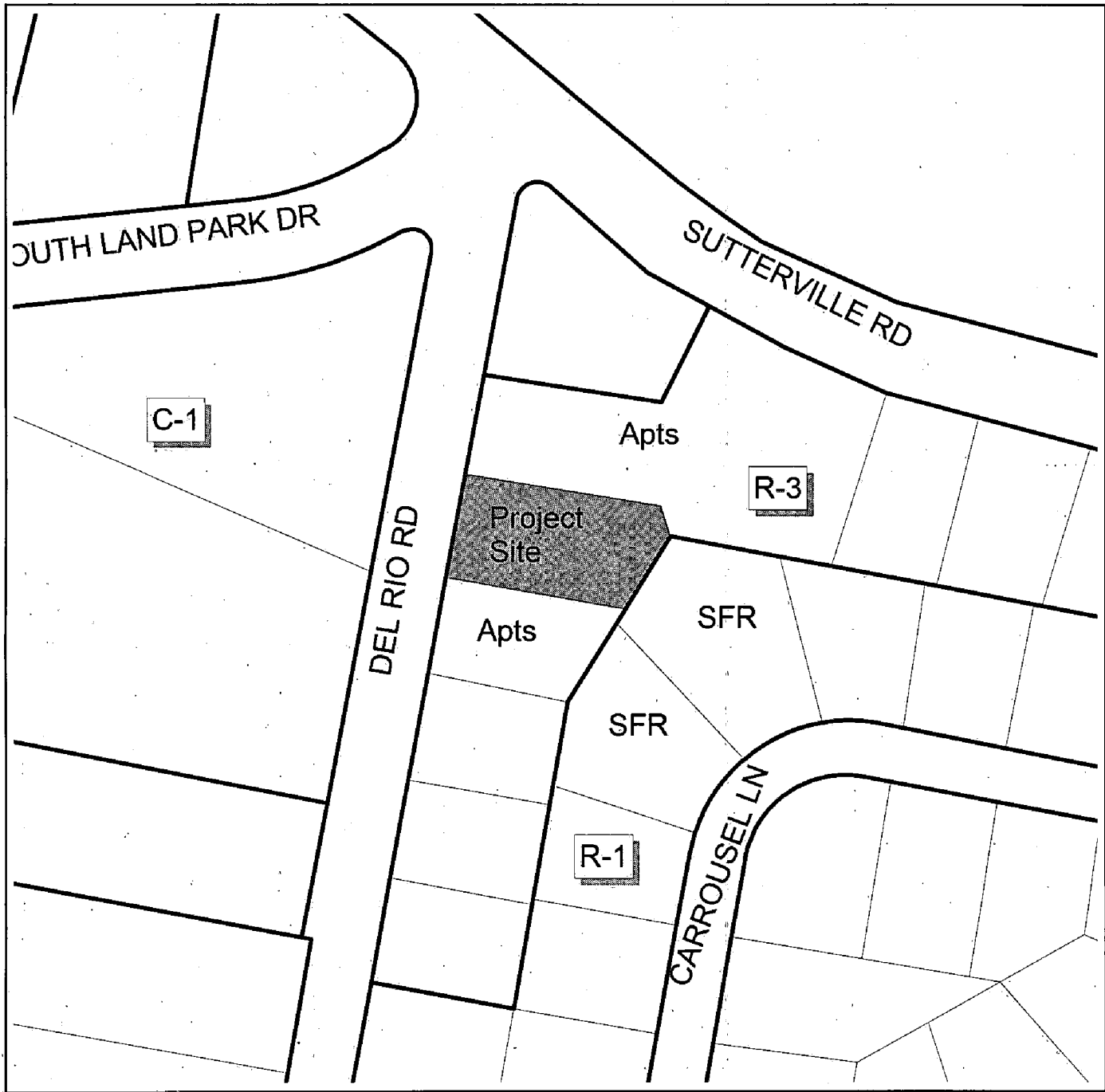


Planning & Building
Department

Geographic
Information
Systems

Vicinity Map





Planning & Building Department
Geographic Information Systems

Land Use & Zoning



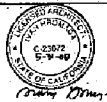
Southland Park Estates

AS-BUILT DRAWING, STAIR REVISION, STORAGES CONVERSION

4411 Del Rio Road
Sacramento, CA 95822

HD
Architecture
Planning
Design
Presentation
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Consultants:

Project
Southland Park Estates
As-Built Drawings,
Stair Revision,
Storage Conversion
May 15, 2001
Owner
HOWARD LEW
4411 Del Rio Road
Sacramento, CA 95822
Phone: 916- 443-3625

Drawing
Site Plan
Vicinity Map
Project Index
Project Data
Project Directory
General Notes

Drawn I H / J H

Revisions:

Date	Description

Date 02-04

Project no. 204-044-111

Sheet

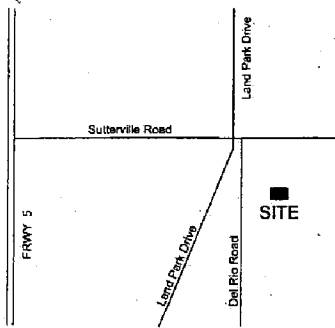
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Total Sheets 9

PROJECT INDEX

As built drawing; Stair revision:

- A-1 Site Plan; Vicinity Map; Project Index; Project Data; Project Directory; General Requirements
- A-2 1st Floor Plan; 2nd Floor Plan; Door and Window Schedule; Notes
- A-3 Exterior Elevations
- A-4 Foundation Plan; Building Section A-A; Stair Section B-B
- A-5 Roof Plan; Electrical Floor Plans; Electrical Key
- Storages Conversion:
- A-6 Storage - 1st Floor Plan; Storage - 2nd Floor plan Demolition Notes
- A-7 Storages Electrical Plan
- S-1 Structural- General Details
- S-2 Structural-Framing Plans, Sections



A2	VICINITY MAP	NOT TO SCALE	D2	PROJECT INDEX
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EXHIBIT A

Scope of Work

General Requirements (G)

G1 Code Compliance (Minimum): Conform to all applicable requirements of the following:

A. California Building Code (CBC), 1997 Edition, including all referenced Documents.

B. California Plumbing Code (CPC), 1997 Edition, including all referenced Documents.

C. California Mechanical Code (CMC), 1997 Edition, including all referenced Documents.

D. National Electrical Code (NEC), 1990 Edition, including all referenced Documents.

E. All applicable ordinances and regulations of Placer County.

G2 Jobsite Safety: Comply with all applicable OSHA regulations.

G3 Work Described in the Contract Documents: Perform work in accordance with the Contract Documents. Where specific details of components of the work are not provided, perform work as described for similar conditions.

G4 Dimensions: Verify dimensions of building and components before starting work.

A. Written Dimensions: Use written dimensions only; do not scale Drawings.

B. Precedence: Dimensions shown on larger scale Drawings take precedence over smaller scale Drawings.

C. Discrepancies: In the event of discrepancies, request written clarification from the Architect before proceeding.

G5 Existing Conditions: Drawings show typical conditions. Verify existing conditions before starting work. In the event of discrepancies, request written clarification from the Architect before proceeding.

G6 Concealed Conditions: Notify the Architect immediately upon discovery of any concealed conditions which affect performance of the Work. Obtain written clarification before proceeding.

G7 Changes in the Work: Do not make changes in the work described in the Contract Documents without written approval by the Architect. The Architect assumes no liability for changes made without express written approval.

G8 Permits: Obtain all required permits and regulatory approvals prior to start of work.

G9 Supervision: Provide qualified superintendent on site at all times during construction.

G10 Construction Access: Use designated routes for access to work areas.

G11 Temporary Power: Connect to existing power supply for temporary power.

G12 Temporary Sanitary Facilities: Provide temporary sanitary facilities during the course of work.

G13 Temporary Telephone: Provide telephone on-site for project communications during construction. A cellular phone is acceptable.

G14 Staging: Use designated areas for staging and debris collection.

G15 Material Storage: Store materials neatly in designated areas.

G16 Progress Cleaning: Remove all construction debris at the end of each day's work. Leave site in orderly condition.

G17 Protection of Existing Finishes: Protect existing finishes which are to remain in place from damage during the course of work.

G18 Temporary Support: Provide temporary support for existing building components as required during the course of construction. Brace temporary supports to resist lateral movement.

G19 Patching: Repair existing materials and finishes disturbed during the course of work. Restore to original condition.

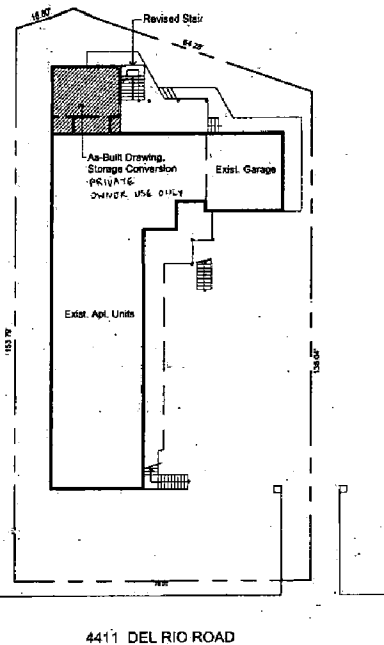
G20 Final Cleaning: Upon completion of construction, thoroughly clean all portions of buildings and project site affected by construction.

Site General Notes

1. Grading: Information regarding relative grades and building floor elevation was provided by the Owner. Verify existing grades and building floor elevations prior to start of construction.

2. Drainage: Modify existing surface grades as required to direct surface drainage away from foundation. Maintain 6 inch minimum clearance between finish grade and exterior plaster or wood which is not decay-resistant. Confirm drainage layout with Owner.

3. Building Layout: The building layout shown on the Site Plan is based on information provided by the Owner. Verify location of the existing apartment and the new addition relative to property lines and setbacks prior to start of construction.



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(916) 443-3625

Architect: HD Architecture
6700 Freeport Blvd.
Sacramento, CA 95822
(916) 421-6540

Project Architect: Ivan Hromada, AIA

Structural: Hoi Wong & Associates
Hoi W. Wong, SE
(916) 447-8585

Title 24: CLD Design
Carthan Davis
(916) 681-3535

14 PROJECT DIRECTORY

Project Description: As Built Drawing
Stair Revision
Storages Conversion

Project Location: 4411 Del Rio Road
Sacramento, CA 95822

Assessor's Parcel Number: 017-0073-018-0000

Zoning: R-3

Lot Area: 0.27 Acres

First floor area: 348 s.f.

Second floor area: 348 s.f.

Total floor area: 696 s.f.

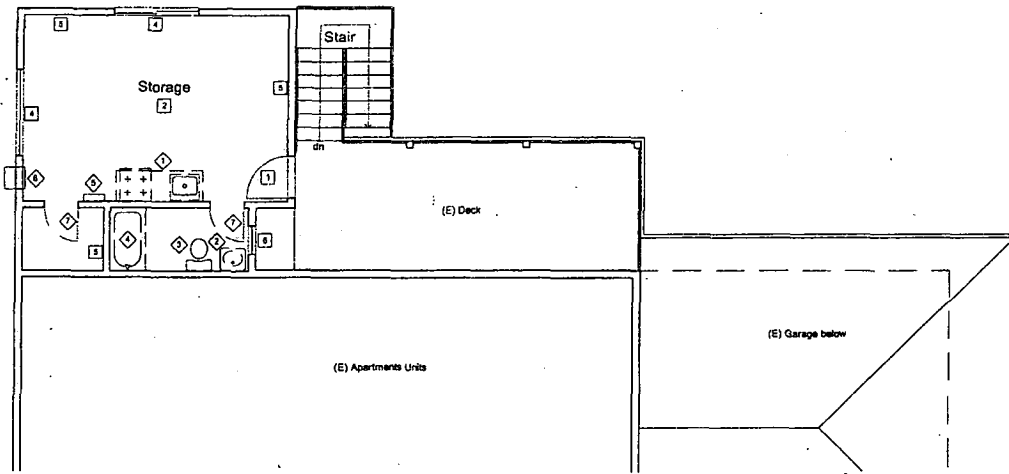
A6 GENERAL REQUIREMENTS

F6 SITE PLAN

SCALE: 1/16"=1'-0"

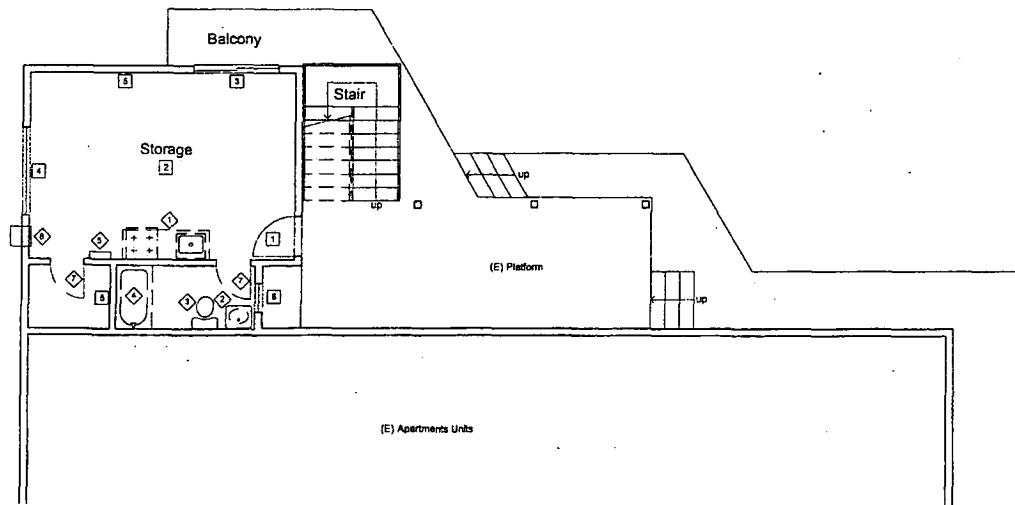
16 PROJECT DATA

EXHIBIT B



2ND FLOOR PLAN - STORAGE

scale: 1/4"=1'-0"



1ST FLOOR PLAN - STORAGE

scale: 1/4"=1'-0"

GENERAL DEMOLITION NOTES:

Keep boundary of demolition work neat and suitable for application of new work with minimum visible transition from old to new surface.

All reusable material, hardware and others shall be removed in manner as not to be damage. All shall remain the property of the owner.

Patch, repair and retexture all walls, ceiling and floor at all areas disturb by new work and demolition. Patch and repair shall not be discernible from existing work.

The entire room- walls and ceiling shall be repainted with primer coat. Walls shall be washed and cleaned of grease, smoke, etc. All reused electrical cover plate shall be removed, cleaned and reinstalled after painting.

STORAGE FLOOR PLAN NOTES

- 1 Existing exterior solid core door with wood frame to be preserved
- 2 Existing Vinyl floor finish to be preserved
- 3 Existing exterior aluminum sliding door to be preserved
- 4 Existing aluminum window with horizontal slider to be preserved
- 5 Existing wood studs wall with interior 3/4" gypsum board to be preserved

STORAGE DEMOLITION NOTES

- 1 Remove existing base cabinet with top counter, single compartment stainless steel sink and top cook top. Recess all plumbing and electrical connections to wall and secure. New gypsum board shall be aligned with existing, patch and retexture.
- 2 Remove existing bathroom sink, recess plumbing lines into a wall. Patch holes with gypsum board and retexture.
- 3 Remove existing toilet, close and seal-off sewer line and align floor with existing.
- 4 Remove existing bathtub, close and seal all plumbing lines and drains and patch wall with gypsum board.
- 5 Remove existing wall gas heater, close and seal line and recess to wall.
- 6 Remove existing wall air conditioning, repair wall with new studs, cover interior wall with 3/4" gypsum board, patch and paint over. Replace exterior missing stucco, align with existing and match paint to existing.

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Project
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Drawing
 1st Floor Plan-
 Storage
 2nd Floor Plan-
 Storage
 Storage Notes
 Demolition Notes

Drawn I H / J H

Revisions:

Date	Description

Date 2004-2-2-04

Project no. 204-044-03111

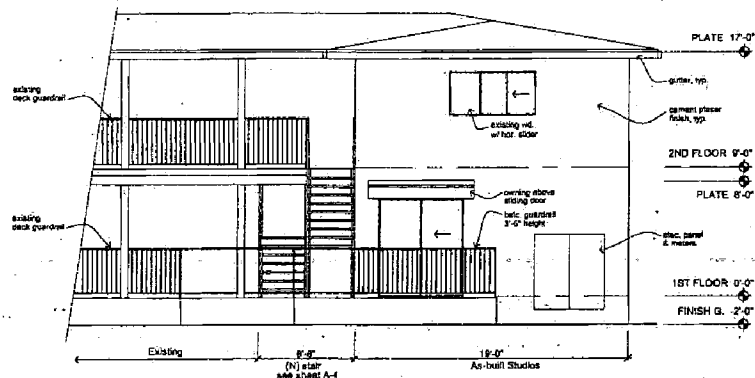
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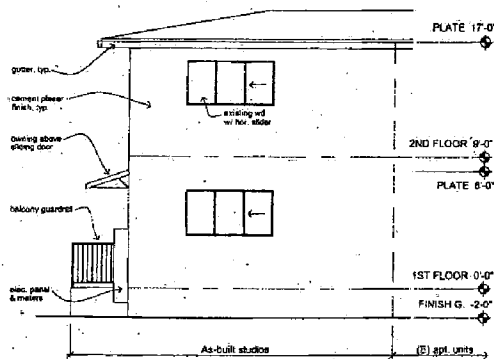
16 FLOOR PLANS NOTES

EXHIBIT C



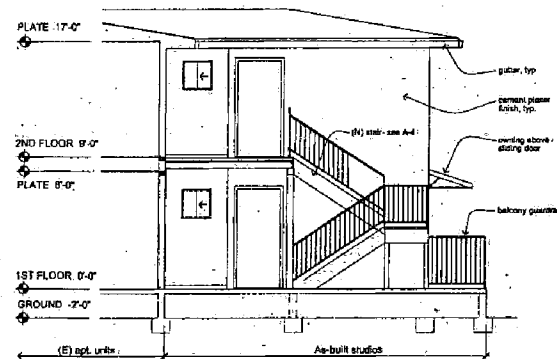
EAST ELEVATION

scale: 1/4"=1'-0"



A6 NORTH ELEVATION

scale: 1/4"=1'-0"



E6 SOUTH ELEVATION

scale: 1/4"=1'-0"

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Drawing
 Exterior Elevations

Drawn IH/JH

Revisions:

Desc	Description

Date 02-04

Project no: 03111

Sheet

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Total Sheets 9