



There is a Heritage English Walnut tree at the southwest corner of the site. Dan Pskowski, City Tree Services Arborist, recommended either the building be relocated or an aeration system for the tree be installed. The applicant hired an arborist to review and recommend the necessary preservation requirements for the tree. The arborist also recommended an aeration system and a specialized construction techniques (see Exhibit F). The City Arborist will accept the recommendations as a course of action to preserve the tree.

Environmental Determination: This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Sections 15302 and 15303(e)}.

Conditions of Approval

1. There shall be no further expansion of the garage into the rear yard setback area nor any additional structures added in the rear yard setback area.
2. Size and location of the structure shall conform to the plans submitted. The garage shall not have a second floor. If a ceiling floor is proposed storage then the ceiling joists for the storage area shall be 2" x 8" at 16" on center. The framing detail may be modified and pull down stairs to reach the storage area are acceptable.
3. The applicant shall obtain all necessary building permits prior to commencing construction. {NOTE: The west wall will require a one hour fire wall.}
4. The applicant shall comply with the arborist's preservation measures for saving the existing walnut tree located at the southwest corner of the site (see Exhibit F). Any deviations to the measures must be reviewed and approved by the City Arborist.
5. The final design of the structure is subject to Design Review approval. The applicant shall submit a final revised elevation prior to submission for building permits.
6. The exterior stairs shall be removed.

Findings of Fact:

1. The proposed project, as conditioned, is based upon sound principles of land use in that:
  - a. the proposed garage will not substantially alter the characteristics of the site or the surrounding neighborhood; and
  - b. the proposed garage will be less non-conforming than the demolished garage.
2. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:

- a. the proposed garage is compatible in design with the other existing properties in the neighborhood;
  - b. there will still be adequate yard area;
  - c. the existing walnut tree will be preserved with adequate protections; and
  - d. the lot is substandard in depth.
3. The project is consistent with the General Plan and the Central City Community Plan which designate the subject site as High Density Residential (30 + du/na) and Multi-Family respectively.

*Joy D. Patterson*

---

Joy D. Patterson  
Zoning Administrator

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File ✓  
Applicant ✓  
ZA Log Book ✓

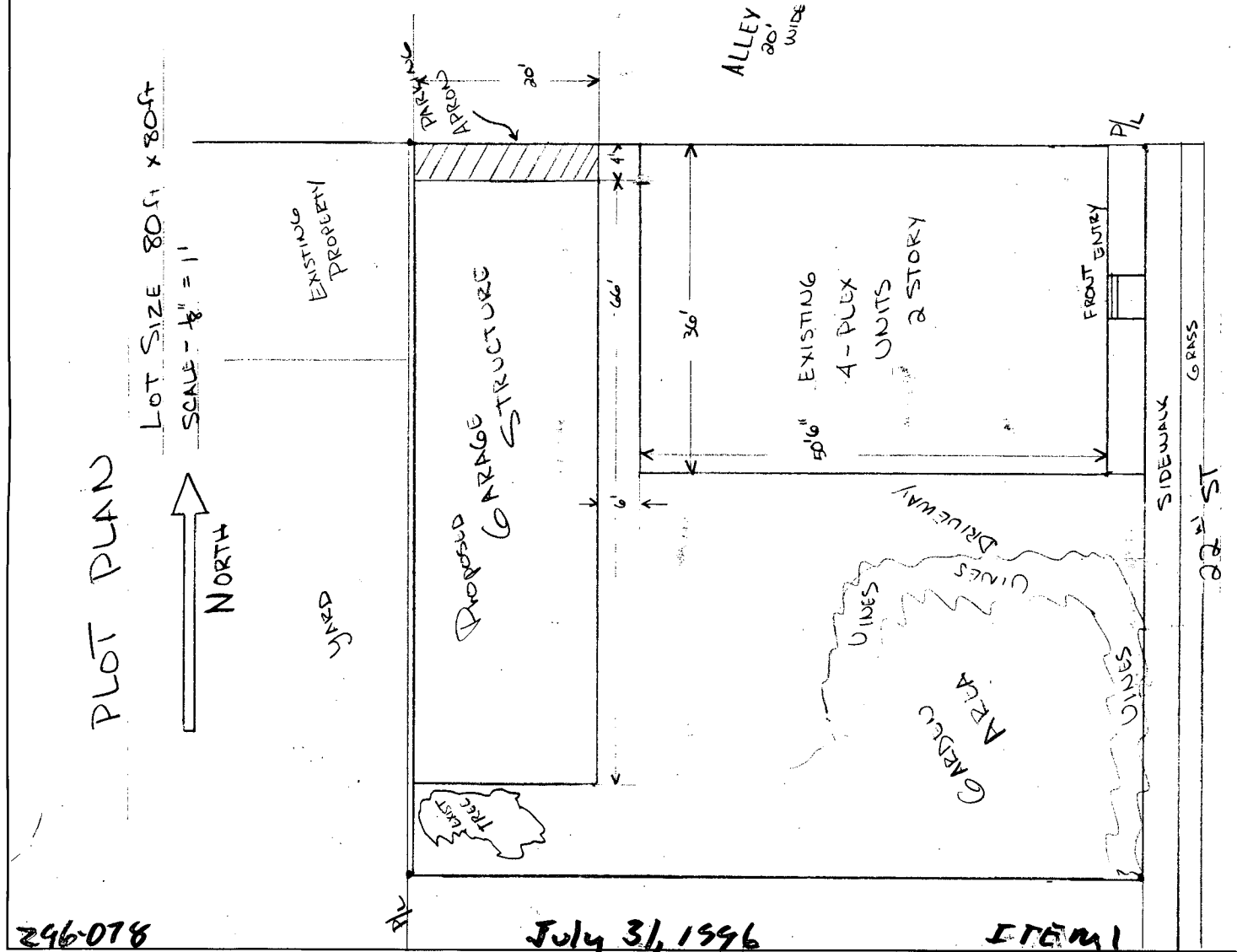
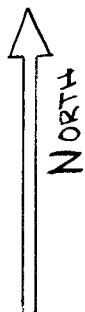




EXHIBIT A

PLOT PLAN

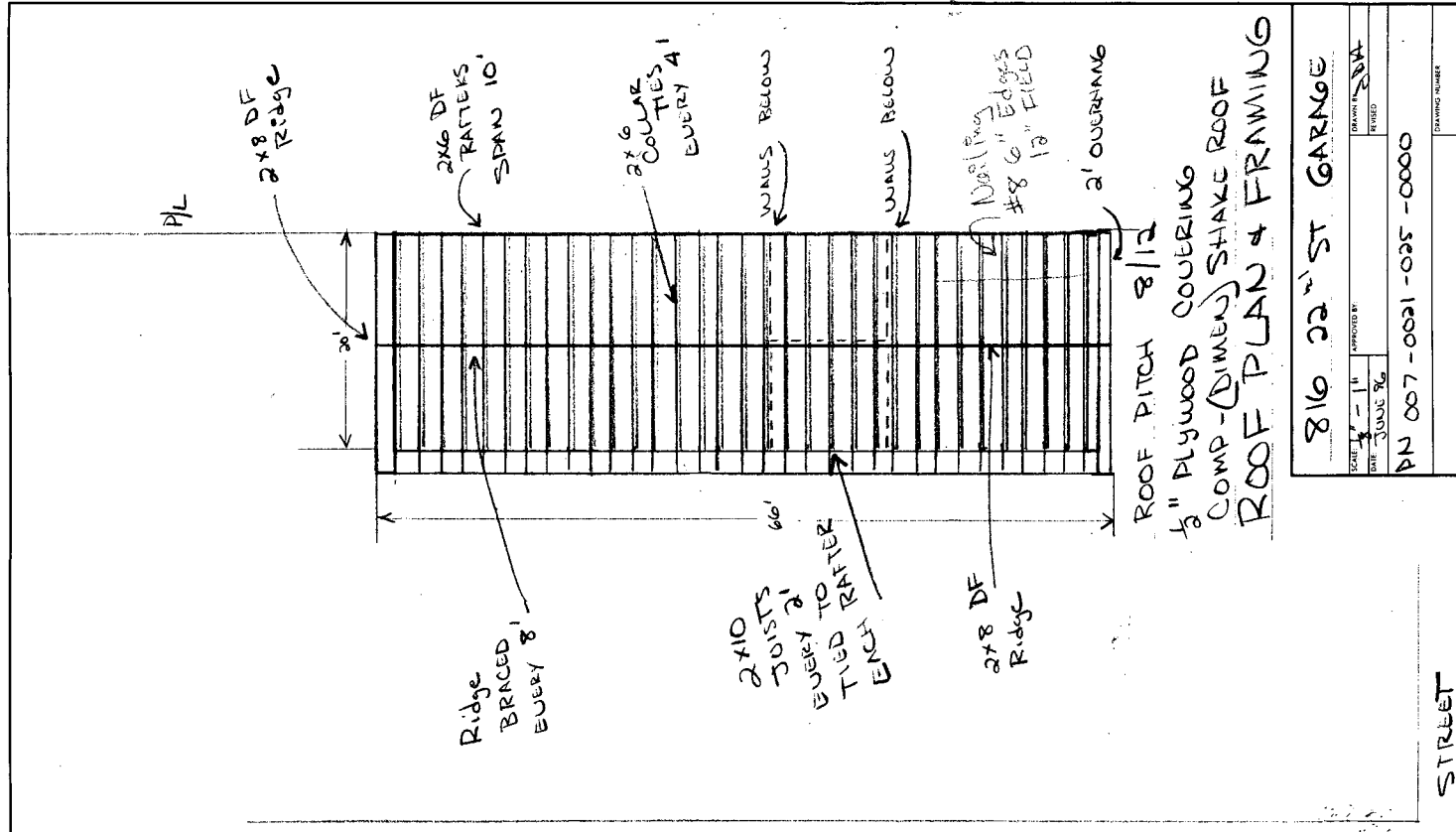
LOT SIZE 80' x 80'  
SCALE - 1/8" = 1'



296-078

July 31, 1996

ITEM 1



ROOF PITCH 8/12  
 1/2" PLYWOOD COVERING  
 COMP-DIMENS) SHAKE ROOF  
 ROOF PLAN & FRAMING

816 22 <sup>nd</sup> ST GARAGE	
SCALE 1/8" = 1'	APPROVED BY
DATE JUN 26 1996	REVISION
PN 007-0031-025-0000	
DRAWING NUMBER	

STREET

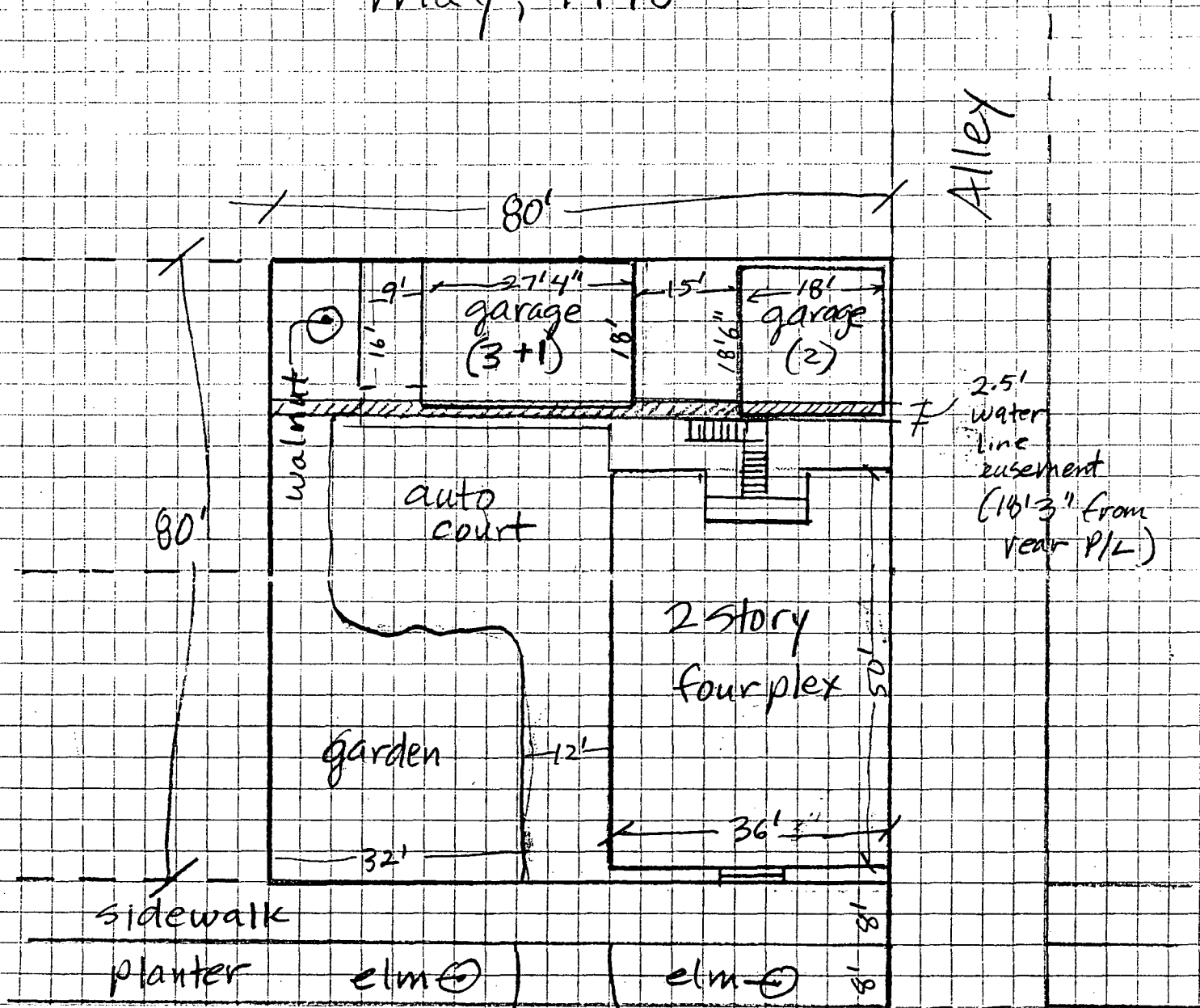


EXHIBIT C

Original Site Plan

816-22nd St.

May, 1996



22nd Street

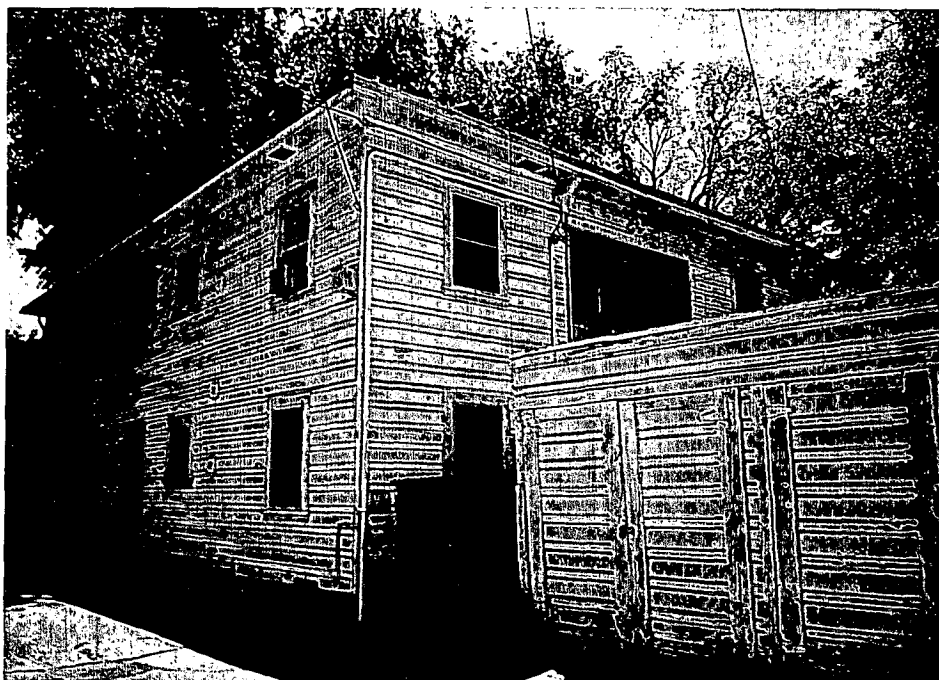
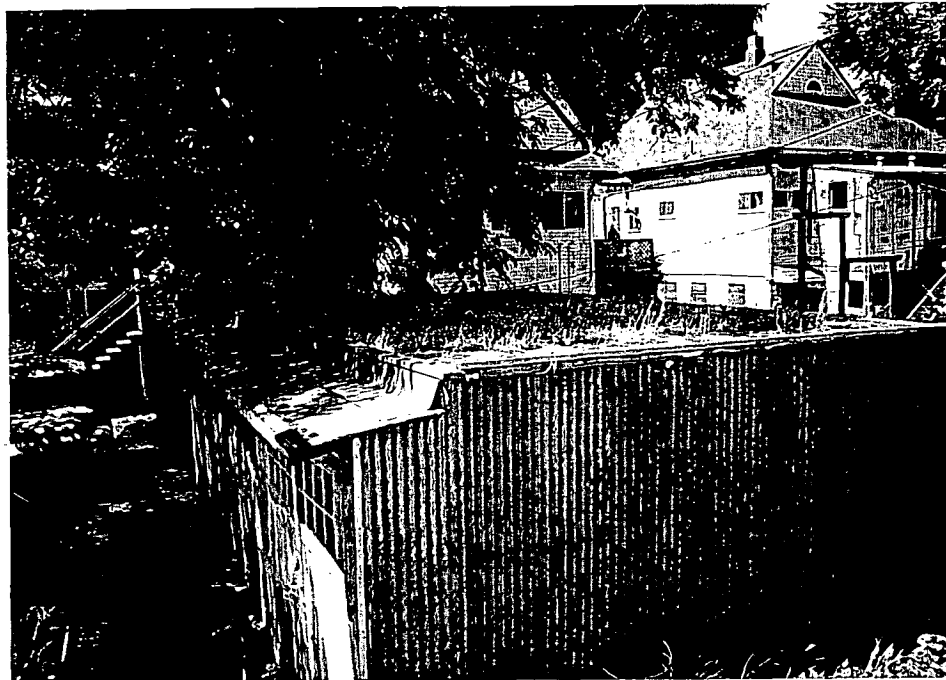
296-078

JULY 31, 1996

Scale: 1" = 20'  
Item 1

EXHIBIT D

Previous Garage



296-078

July 31, 1996

Item 1

EXHIBIT E

Mrs. Cora N. Courter  
2121 I Street, #3  
Sacramento, CA 95816  
July 5, 1996

Joy Patterson, Zoning Administrator  
City of Sacramento  
Department of Planning and Development  
1231 I Street, Suite 200  
Sacramento, CA 95814

Subject: Zoning Administrator's Special Permit--Z96-078  
816 - 22nd Street, Sacramento

Dear Ms. Patterson:

I am writing to inform you that I have no objection to my neighbor's proposal to replace the garages at 816 - 22nd Street which abuts the eastern boundary of my property located at 2121 I Street. I have spoken with the new owner of the 22nd Street property, Mr. Hutchings, and he has informed me that he has filed an application with your Department for permission to rebuild the garages on the property line as they previously existed.

I have lived at 2121 I Street for over forty years. Both garages were in place right on the property line when my husband and I first moved here in 1954. I would like to see the new garage built at the same location because it will provide privacy and security for my backyard. I prefer to have the garage built right on the property line because to build it with a setback would create a hiding place between the garage and my back yard. Having the garage built on the property line will provide me with greater security than a six foot fence. I am anxious to have the garage rebuilt as quickly as possible.

If you have any questions, you may call me at 446-5164.

Sincerely,

*Mrs. Cora N. Courter*

Mrs. Cora N. Courter  
Owner, 2121 I Street, Sacramento

CITY OF SACRAMENTO  
PERMIT ASSISTANCE

JUL 08 1996

RECEIVED

296-078

July 31, 1996

Item 1



**Tree Care Incorporated**  
A Merger of Austin B. Carroll & Son and Sta-Green Tree Service



RECEIVED

JUL 29 1996

July 26, 1996

Tom Hutchings  
6431 13th Street  
Sacramento, CA 95831

CITY OF SACRAMENTO  
CITY PLANNING DIVISION  
Home: 392-6406  
Office: 440-6097

RE: 816 22nd Street, Sacramento, CA 95816

Dear Mr. Hutchings:

As requested I inspected the above referenced site with specific regards to assessing the overall health and condition of a large mature English Walnut tree located at the back of the property and providing construction impact assessment and mitigative measure recommendations for dealing with the construction around this tree. Following are my observations and recommendations.

<b>TREE:</b> English Walnut	
<b>DIAMETER</b>	: 32.0 inches
<b>DRIPLINE RADIUS</b>	: 41 feet
<b>ROOT CROWN</b>	: Fair
<b>TRUNK</b>	: Fair - two or three old wounds 10 to 20 feet above grade, suspect minor interior decay, does not appear significant at this time
<b>LIMBS</b>	: Fair - slightly above average amount of deadwood
<b>FOLIAGE</b>	: Fair
<b>CONDITION</b>	: Fair structure and vigor
<b>DRIPLINE ENVIRONMENT</b>	: Soil and turf areas

In reviewing the proposed plans I noted that construction of the new garage building on this site will encroach directly beneath the tree. This encroachment occurs generally in an area where an old garage with a concrete slab floor had previously been located. The side wall of the garage falls approximately 16 inches off the tree's trunk and covers a large area of the tree's dripline on the north and east sides.

Specialized construction techniques to minimize impacts to the tree would be as follows: Concrete slab will be poured on grade using a post/ pier beam type construction for the footings along the west end wall and for a distance of 15 feet from the back corner along the back wall and a distance of 15 feet from the front corner along the front wall. From that point out to 30 feet away from the tree trunk conventional footing can be utilized. However, trenches should be hand dug to 30 feet from the tree's trunk. Mechanical excavation can occur throughout the footing trenches beyond 30 feet. An aeration system should be installed beneath the garage slab and the driveway slab to cover the dripline area to a point 30 feet away from the tree's trunk. Aeration systems should be installed per generic detail attached.

11530 Elks Circle • Rancho Cordova, CA 95742 • P.O. Box 1247, Carmichael, CA 95609-1247  
(916) 852-9500 • FAX (916) 852-9585

296-078

July 31, 1996

296 078  
Item 1

Tom Hutchings  
RE: 816 22nd Street  
Page 2

Plans show that the peak of the roof will be 14 feet 8 inches above finished floor, which allows clearance of approximately 3 feet from the peak to the largest questionable branch which could conflict with the roof. Consequently, only minor pruning of smaller branches (1/4 inch diameter and less) will be necessary to provide adequate roof clearance. No other special mitigative measures necessary.

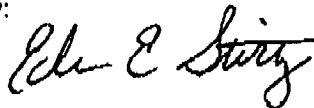
The tree should be pruned to remove deadwood from the upper canopy to sanitize the canopy and invigorate the tree. The tree should also be deep root fertilized.

\*DEEP ROOT FERTILIZE (D.R.F.) A method employed to induce vigor and stimulate new root growth. This is used as a means of feeding a large tree as well as deep watering at the same time. Water soluble fertilizers are mixed in water and hydraulically pumped with a probe into the ground delivering water and nutrients directly to the root zone allowing for uptake from the tree. In this way vigor can be improved and new root growth stimulated.

\*CROWN CLEAN OUT This shall consist of the removal of dead, dying, diseased, interfering, objectionable, obstructing and weak branches, as well as selective thinning to lessen wind resistance.

If you should have any questions please feel free to call me at my office.

Sincerely:



Edwin B. Stirtz  
ISA Certified Arborist WC-0510

EES/clm

cc: Dan Pskowski, City of Sacramento

796 078

	Demolished Garage-	981 square feet
	Proposed Garage-	1,320 square feet
	Total-	2,044 square feet
Height of Garage Building:	Two Story Residential Units; Single Story Garage	
Exterior Building Materials:	Horizontal Siding	
Roof Materials:	Dimensional Composition Shingles	
Topography:	Flat	
Street Improvements:	Existing	
Utilities:	Existing	

Project Plans: See Exhibits A-D

Previous Files: None

Additional Information: The applicant is requesting to rebuild and expand a previously existing non-conforming garage within the rear yard setback area. The garage was in a state of disrepair and removed at the beginning of the application process. The original garage consisted of two detached structures that provided five parking stalls. The smaller structure was 18 feet by 18 feet (333 square feet) and the larger structure was 18 feet by 36 feet (648 square feet) for a total of 981 square feet. There was 15 feet between the structures which were located along the rear (west) property line. The smaller garage had access from the alley and was located one foot from the alley. The larger structure had access from 22nd Street. The original structure covered 810 square feet or 68 percent of the required rear yard setback area. There are existing exterior stairs that reduced the separation from the residential units and the garage to 2.5 feet. The exterior stairs will be eliminated. There is a large yard area adjacent to the driveway from 22nd Street to the original garages.

The proposed new garage will be 66 feet by 20 feet (1,320 square feet) and relocated four feet away from the alley side (north) property line. The new garage will cover a total of 900 square feet (75%) of the rear yard setback area. The proposed expanded garage and the existing residential structure will not exceed the allowed 50 percent total lot coverage for the zone (new lot coverage will be 49%). A Zoning Administrator Special Permit is necessary to rebuild and expand the legal non-conforming structure. The lot is also substandard in depth (80 feet deep).

The site is located within the Boulevard Park Neighborhood Association area. The project plans were sent to them and no comments were received. The project has been noticed and staff has not received any calls. Staff also received a letter of support for the project from the affected adjacent property owner to the west (see Exhibit E).

The site is within the Central City Design Review and Preservation areas. The applicant has submitted an application to the Design Review staff (PB96-028). The applicant is resolving design issues with staff.