

ORDINANCE NO. 85-032

ADOPTED BY THE SACRAMENTO CITY COUNCIL ON DATE OF

APR 16 1985

ORDINANCE AMENDING THE DISTRICTS ESTABLISHED BY THE COMPREHENSIVE ZONING ORDINANCE NO. 2550, FOURTH SERIES, AS AMENDED, BY REMOVING PROPERTY LOCATED ON THE NORTH SIDE OF SAN JUAN ROAD, 600+' WEST OF NORTHGATE BOULEVARD

FROM THE TOWNHOUSE, R-1A ZONE(S)

AND PLACING SAME IN THE GARDEN APARTMENT, R-2B ZONE(S)

(FILE NO. P- 84-403)(APN: 250-010-68)

BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO:

SECTION 1.

The territory described in the attached exhibit(s) which is in the Townhouse, R-1A zone(s), established by Ordinance No. 2550, Fourth Series, as amended, is hereby removed from said zone and placed in the Garden Apartment, R-2B zone(s).

This action rezoning the property described in the attached exhibit(s) is adopted subject to the following conditions and stipulations:

- a. A material consideration in the decision of the Planning Commission to recommend and the City Council to approve rezoning of the applicant's property is the development plans and representations submitted by the applicant in support of this request. It is believed said plans and representations are an integral part of such proposal and should continue to be the development program for the property.
b. If an application for a building permit or other construction permit is filed for said parcel which is not in conformity with the proposed development plans and representations submitted by the applicant and as approved by the Planning Commission January 24, 1985, on file in the office of the Planning Department, or any provision or modification thereof as subsequently reviewed and approved by the Planning Commission, no such permit shall be issued, and the Planning Director shall report the matter to the Planning Commission as provided for in Ordinance No. 3201, Fourth Series.

SECTION 2.

The City Clerk of the City of Sacramento is hereby directed to amend the maps which are a part of said Ordinance No. 2550, Fourth Series, to conform to the provisions of this ordinance.

ORDINANCE No. 85-032 APR 16 1985

9 2

SECTION 3.

Rezoning of the property described in the attached exhibit(s) by the adoption of this ordinance shall be deemed to be in compliance with the procedures for the rezoning of property prescribed in Ordinance No. 2550, Fourth Series, as said procedures have been affected by recent court decisions.

PASSED FOR PUBLICATION: ~~FEB 19~~ 1985

PASSED: APR 16 1985

EFFECTIVE: MAY 16 1985

Gene Rieder
MAYOR

ATTEST:

Connie R. Peter
Deputy
CITY CLERK

P84-403

ORDINANCE No. 85-032

APR 16 1985

10

3

RECORD OWNER & SUBDIVIDER
PLACER SAVINGS & LOAN
PO BOX 871, AUBURN, CA 95603

ACREAGE
GROSS 40.1 AC
NET 39.5 AC

DENSITY
SEE SCHEMATIC PLAN

PRESENT USE
VACANT

PROPOSED:
87 LOTS
2 MULT. Y LOTS
(PARCELS A & B)
1 LOT FOR FUTURE DEVELOPMENT
(PARCEL C)
2 DRAINAGE LOTS - 0.48

EXISTING ZONING
R 1 PUD
R 1A PUD

PHASING
PARCELS A & C - PHASE 1
LOTS 1-37 - PHASE 2

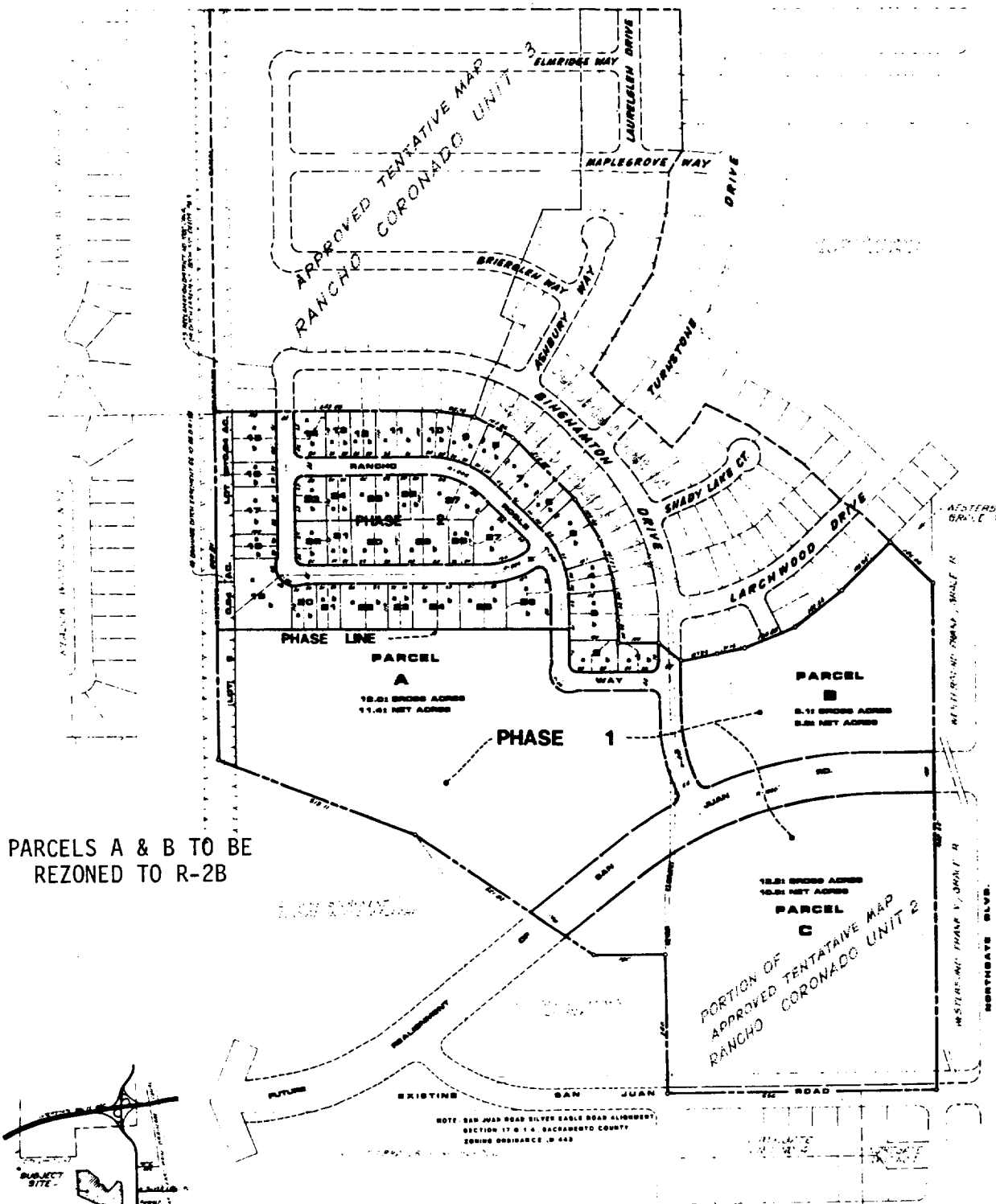
PROPOSED ZONING
R 1A PUD & R-2B

PROPOSED IMPROVEMENTS
CITY OF SACRAMENTO

NET PLY
CITY OF SACRAMENTO

SEWER DISPOSAL
PUBLIC SEWER SYSTEM

ASSESSORS PARCEL NUMBER
99-010-00



PARCELS A & B TO BE REZONED TO R-2B

PORTION OF APPROVED TENTATIVE MAP RANCHO CORONADO UNIT 2

ORDINANCE No. 85-032
APR 16 1985

2	SCALE 0 50 100			OCTOBER 1984	rancho natomas CITY OF SACRAMENTO CALIFORNIA	TENTATIVE MAP REVISED 2-12-85
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