



CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & BUILDING
1231 I Street, Sacramento, CA 95814

ACTION OF THE PLANNING DIRECTOR

On October 24, 2002, the Planning Director approved with conditions a special permit for four (4) house plans on 114 single-family lots for the project known as Parkview - Villages 9 and 10 (P02-122). Findings of Fact and conditions of approval for the project are listed on pages 4-8.

Request: **A. Planning Director's Special Permit** for four (4) house plans on 114 lots in Parkview – Villages 9 and 10

Location: West side of Duckhorn Boulevard, North of South Loop Road
APN: A portion of 225-0140-032
North Natomas Community Plan Area
Natomas Unified School District
Council District 1

APPLICANT:	Larry French, Beck Properties, Inc. (209) 957-0331 3114 W. Hammer Lane, Stockton, CA 95209
OWNER:	Alleghany Properties, Inc. 2150 River Plaza Drive, #155, Sacramento, CA 95833
APPLICATION FILED:	August 16, 2002
APPLICATION COMPLETED:	August 16, 2002
STAFF CONTACT:	Arwen Wacht, (916) 264-1964

PROJECT INFORMATION

General Plan Designation: Low Density Residential (4-15 du/na)
 Community Plan Designation: Medium Density Residential (7-21 du/na)
 Existing Land Use of Site: Vacant
 Existing Zoning of Site: Single Family Alternative Planned Unit Development (R-1A-PUD)

Required Setbacks: The proposed house plans shall comply with the setbacks designated in the River View/Parkview PUD Guidelines. When silent, the setbacks shall be as determined in the Sacramento City Code.

Lot Coverage: The lot coverage for a single story home shall not exceed 45 percent or the lot coverage of a two story home shall not exceed 40 percent, given the allowances / incentives described in the River View/Parkview PUD Guidelines.

Subdivision & Village: Parkview – Villages 9 and 10
 Property Area: 19.7± gross acres, 17.8± net acres

Square Footage of House Plans:

House Plan	Square Footage
Plan 1	1,850
Plan 2	2,158
Plan 3	2,434
Plan 4	2,530

Height of Building: 1-2 stories, 16' to 29'-10"
 Exterior Building Materials: Stucco and/or stone
 Roof Materials: Concrete Tile

Previous Files: P00-022/023

Project Plans: See Exhibits 4 thru 7

Additional Information: The applicant is requesting a Planning Director's special permit to develop four house plans on 114 lots within the River View/Parkview Planned Unit Development.

Project Evaluation:

House Plan	Level of Compliance	Comments
Plan 1	Compliant	Living space projects in front of the garage.
Plan 2	Mitigated	Living space is recessed behind the garage, but a useable porch projects in front of both.
Plan 3	Compliant	Living space projects in front of the garage. The front entry is recess more than 16', but a courtyard is provided.
Plan 4	Compliant	Living space is even with the garage and the porch projects in front of both.

Staff finds that the proposed house plans comply with all applicable General Plan, Community Plan, River View/Parkview PUD Guidelines, and they are generally consistent with the Single Family Residential Design Guidelines.

Environmental Determination: On February 15, 2002, the City Council ratified a Negative Declaration for the originally proposed project (P00-022/023). Potentially significant environmental issues regarding Air Quality, Biological, Cultural Resources, Noise, and Recreation were discussed and mitigated in these documents. The proposed project was analyzed in this previous environmental document. No new issues or new information is known that would trigger additional environmental analysis. Section 15162 of the Guidelines for Implementation of the California Environmental Quality Act Public Resources Code provides that an additional Negative Declaration need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. A Mitigation Monitoring Plan was prepared for the mitigation measures that were identified in the previous Negative Declaration. The applicant shall comply with the Mitigation Monitoring Plan, when applicable to the proposed project.

Neighborhood/Agency Comments: The following comments were received by the Natomas Community Association:

1. Immediate neighbors on Saintsbury are very concerned about potential drainage from homes to be built behind them on land that is 3-4' higher. Developer stated that public works has approved the grading for lots that will slope away from Saintsbury. [per TC 8/16, Beck representative confirmed the lot elevation & grading has been approved and builder cannot do anything at this point]
2. Builder should replace existing fences at rear lot line shared with Saintsbury residences. Builder advised that is their usual practice.

3. Preference expressed for one-story homes backing up to Saintsbury. Builder advised they do not pre-plot home sites that the rear setback is 15' and no rear landscaping is included.
4. Color schemes were not available but concern expressed that builder provide more variety in color schemes than usual monotonous "Natomas Beige".
5. Builder urged to offer more than one style/color for garage doors in addition to window option.
6. Neighbors have safety concerns about walkway in north village connecting the apartments to the park through their neighborhood. Builder advised it was a condition of the city and that Atrium apts. will do the construction/landscaping.
7. Residents support early completion of Duckhorn Blvd. north and south of the South Loop Road to alleviate anticipated increased traffic through neighborhoods.
8. Neighbors are very concerned about the slow pace of park construction in the area. Builders should be required to construct the parks prior to 50% build out of all residential projects

Conditions of Approval -

- A1. Plans shall be consistent with the elevations shown on Exhibits 4 thru 7.
- A2. All of the house plans submitted and approved with this PDSP application shall be actively marketed and offered for sale within the subdivision/village(s) covered by this approval (P02-122).
- A3. Any change in the design, materials, or colors shall be submitted to the Planning Director for review and approval.
- A4. All building elevations submitted to the Planning and Building Department shall demonstrate compliance with roof pitch and enhancement requirements of the River View/Parkview PUD Guidelines.
- A5. Two plot plans, consistent with the approved Final Map, shall be submitted to Building Division demonstrating compliance with setbacks and lot coverage (including the use of allowances/incentives as specified in the PUD Guidelines) as specified in the River View/Parkview PUD Guidelines, for all lots included in this approval.

Setbacks shall be as follows:

Porch: The recommended porch setback shall be 12'-6" minimum from back of walk except for lots fronting on San Juan Road where the porch setback is 17'-6" minimum from back of walk.

Front of Building: The recommended setback to the front of the home, excluding porch, shall be 17'-6" minimum from back of walk. Deeper front yard setbacks may be required for cul-de-sac lots.

Side Yard: 5'-0" minimum on each side, with the exception of zero-lot line conditions, which shall be 5'-0" and 0". Garages and/or accessory dwelling units which are recessed a minimum of 50' from the street may have a 0'-0" side yard setback.

Rear Yard: The recommended setback is 15'-0" minimum. Detached garages and accessory units ("granny flats"), if recessed a minimum of 50' from the street, may have a 0'-0" rear yard setback. Subject to Building Code. Lots along the west and north boundary of River View Unit #2 (adjacent to existing agriculture) shall have a 70'-0" minimum building setback (with the exception of River View sub-area Lots #9, 10, 132, 133, 240, 241, 251, & 252 which due to constraining lot shape shall have 60'-0" minimum building setback) to provide a buffer between the residential and agricultural uses.

Garage: For front drives, the minimum setback is 20'-0" or more from back of walk. For alley conditions, the recommended minimum setback is 16'-0" from the center of the alley. Alleys shall be 20' in width.

Accessory Structures: Subject to Building Code, granny flats may have 0'-0" side yard setbacks and 0'-0" rear yard setbacks if structure is recessed a minimum of 50' from street.

The proposed house plans shall comply with the setbacks designated in the River View/Parkview PUD Guidelines. When silent, the setbacks shall be as determined in the Sacramento City Code.

Lot Coverage shall be as follows:

- The lot coverage for a single story home does not exceed 45 percent of the lot area and/or a two-story home does not exceed 40 percent, given the following allowances/incentives:
 - Covered porches in the front or street side do not count toward the maximum lot coverage.
 - Attached or detached garages that are recessed a minimum of four feet from the living area of the home (not the porch) count 50 percent toward maximum lot coverage; and/or
 - At the homeowner's discretion an additional 100 square feet of accessory structure(s) may be built on the lot.


- A maximum of 50 percent of the lots within the PDSP area (i.e., subdivision, village) may exceed 40 percent lot coverage.
 - No more than 2 homes exceeding the lot coverage shall be located in a row along the street.
 - Findings: Staff must be able to make the following findings regarding the proposed lot coverage requirements
- A6. Enhanced side and rear elevations shall be required whenever either of those elevations faces a public street, school, park, canal, or other public space. This includes the street side elevation on all corner lots in the subdivision. Enhanced elevations shall include, at a minimum, "pop-outs" around windows and doors consisting of stucco over foam trim, finished with a texture that is different from the texture of the house, or other appropriate door and window trim features; and a four foot return of materials on the side or rear elevations, as appropriate. On enhanced side and rear elevations, window treatments, rooflines, and materials shall match front facade in appearance and quality. All enhanced elevation treatments shall be shown on the plans submitted for building permit.
- A7. None of the same house plans may be placed on more than two adjacent/consecutive lots, and shall be different elevations when adjacent. The applicant shall provide to the Building Division a map that indicates plan and elevation on adjacent lots.
- A8. On corner lots, the driveway shall be located away from the intersections of streets.
- A9. On corner lots, fencing shall start at or near the rear corner of the house.
- A10. Roofing shall be as shown on plans.
- A11. Prior to building permit issuance for lots with zero lot lines, the applicant shall enter into and record an Agreement for Conveyance of Easements with the City stating that a five (5) foot private access and maintenance easement shall be conveyed to and reserved for the lot adjacent to the zero lot line, at no cost, at the time of sale or other conveyance of either parcel.
- A12. The applicant shall comply with the Parkview TSMAQ Plan for residential development.
- A13. Install two 15-gallon trees per lot frontage, with the average spacing of 30' on center, as measured along the entire length of the street.
- A14. Front landscaping and irrigation system shall be provided and consistent with the PUD Guidelines.

- A15. On corner lots, the builder shall provide special landscaping treatments by providing accent trees and shrubs along the side yard fence.
- A16. All landscaping and planting shall conform to City standards for sight line requirements at intersections and driveways.
- A17. Walls and fences shall be consistent with the PUD Guidelines and shall conform to City standards for sight line requirements at intersections and driveways.
- A18. Driveways shall comply with maximum paved area as permitted in the PUD Guidelines and Title 17 of the City Code.
- A19. Garages: Each house shall provide at least one garage space with minimum inside dimensions of 10 wide by 20 feet long, as required by Title 17 of the City Code.
- A20. Prior to development of any model homes, the applicant shall obtain a Zoning Administrator's Model Home Complex Special Permit.
- A21. The applicant shall comply with the originally approved Mitigation Monitoring Plan (P00-022/023) on file at the Planning Division.
- A22. This approval is for 114 lots within Parkview – Villages 9 and 10. Any increase in the number of lots or any modification to the location of the lots specified for these house plans shall be reviewed by the Planning Director and may require additional entitlements.
- A23. The applicant shall obtain all necessary building permits prior to commencement of construction and building permits shall not be issued unless the Final Map has been approved.
- A24. Prior to the issuance of the 150th building permit for the project known as Parkview – Villages 9 and 10 (P02-122), or the first certificate of occupancy or final building permit for the project known as Parkview – Villages 9 and 10 (P02-122), whichever comes first, the applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project to an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to special districts. The purpose of the district is to equitably spread the cost of neighborhood parks maintenance on the basis of special benefit, in the case of an assessment district. In the case of a special tax district, the costs will be spread based upon a hearing report, which specifies the tax rate and method of apportionment.
- A25. The applicant shall comply with the applicable provisions and requirements of the Inclusionary Housing Plan and Inclusionary Housing Agreement recorded against this project.

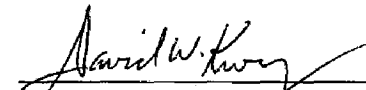
Findings of Fact:

1. The project is based upon sound principles of land use in that the site is designated single family residential and the projects to be developed are single-family homes.
2. The proposed development will not be detrimental to the public health, safety or welfare in that the residential development is consistent with the adopted PUD Guidelines and Schematic Plans for the River View/Parkview PUD and will comply with the required setbacks, height and lot coverage.
3. The proposed residential development is consistent with the objectives of the General Plan and the 1994 North Natomas Community Plan in that:
 - a. The project complies with the land use designations;
 - b. The project complies with density and open space proximity requirements of the North Natomas Community Plan;
 - c. The project continues to fulfill the North Natomas Community plan of providing neighborhoods that are focused on an elementary school, provides for a variety of housing densities and types with commercial, civic, transit and park uses in close proximity.
 - d. The project advances transportation and air quality goals.

Prepared By:


Arwen Wacht, Associate Planner

Approved By:


David Kwong, Senior Planner

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use that requires a Building Permit shall be deemed established when such Building Permit is secured and construction there under physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

The decision of the Planning Director may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Planning Director's decision. If an appeal is not filed, the action of the Planning Director's decision is final.

Attachments:	Vicinity Map	
	Exhibit 1:	Site Plan
	Exhibit 2:	Setback Exhibits (a) Typical Interior Lot; (b) Typical Corner Lot
	Exhibit 3:	Landscaping Plan - Typical Interior and Corner Lots
	Exhibit 4:	Plan 1 (a) thru (b) Elevations; and (c) Floor Plan
	Exhibit 5:	Plan 2 (a) thru (b) Elevations; and (c) thru (d) Floor Plans
	Exhibit 6:	Plan 3 (a) thru (b) Elevations; and (c) thru (d) Floor Plans
	Exhibit 7:	Plan 4 (a) thru (b) Elevations; and (c) thru (d) Floor Plans

Exhibit 8: Parkview DRC Approval Letter
Exhibit 9: Letter of Agreement

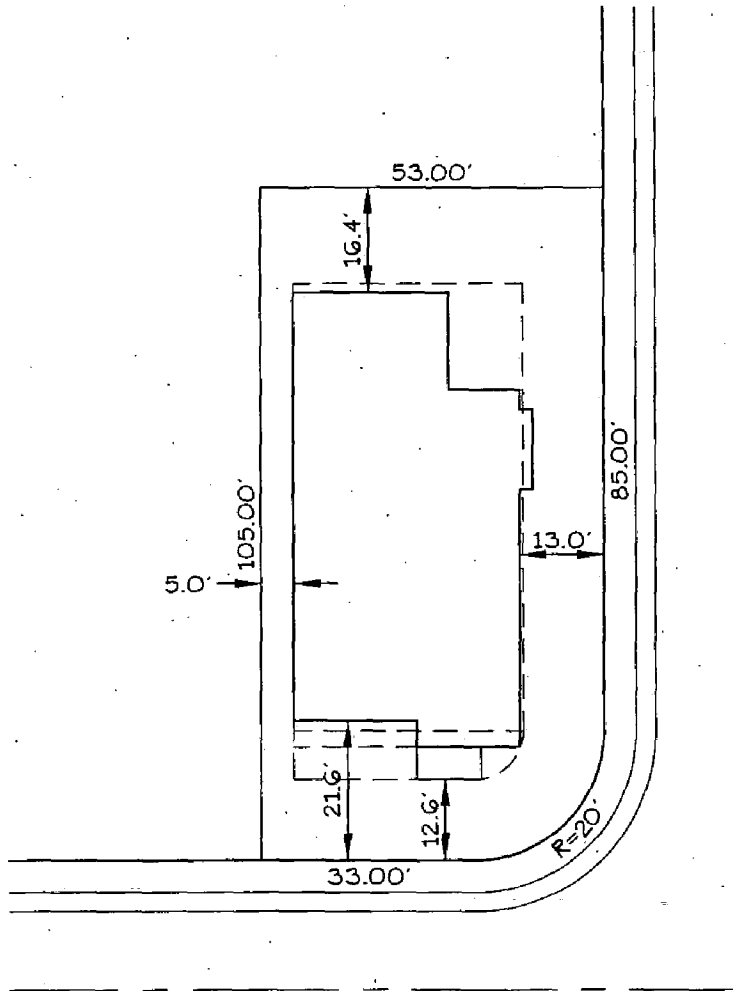
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cc: City Council (Member)
Applicant
Development Services - Building Division (2)
PUD Binder

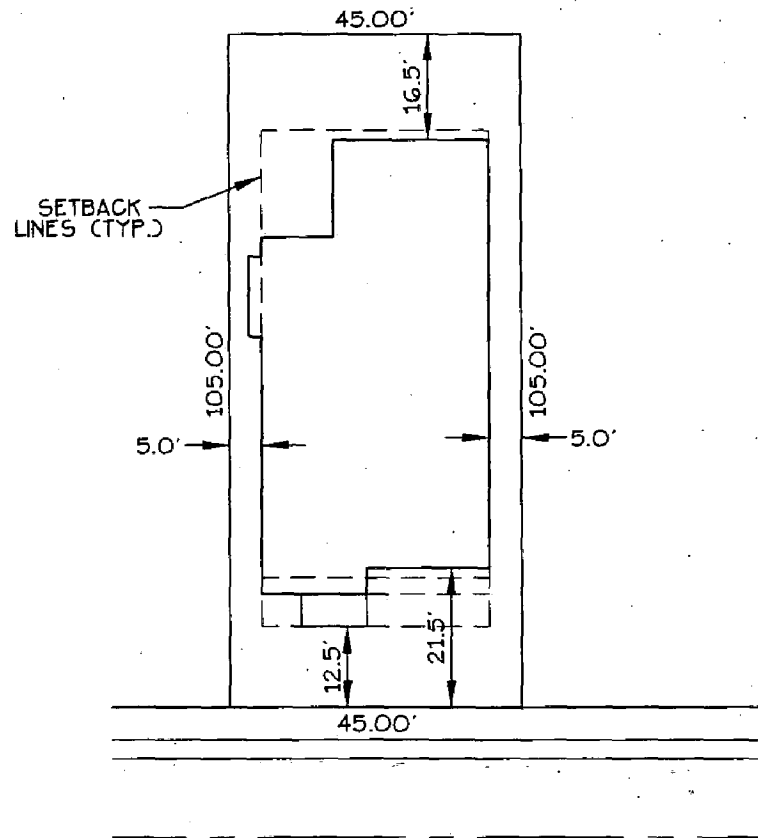
PLAN 1 PARKVIEW-VILLAGE 9, 10 & 11

CITY OF SACRAMENTO, CALIFORNIA

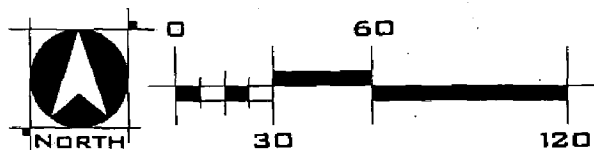
JULY 22, 2002



TYPICAL CORNER LOT



TYPICAL INTERIOR LOT

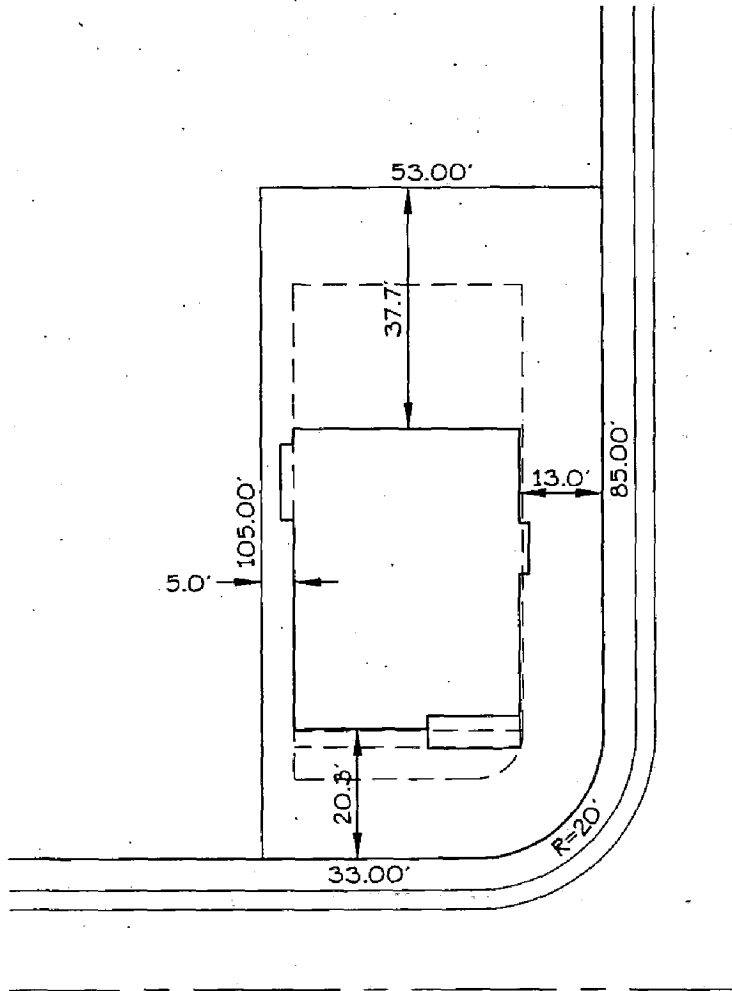


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ENGINEERING • PLANNING • MAPPING • SURVEYING
3301 C STREET, BLDG. 100-B, SACRAMENTO, CA 95816
PHONE: (916) 341-7760 FAX: (916) 341-7767

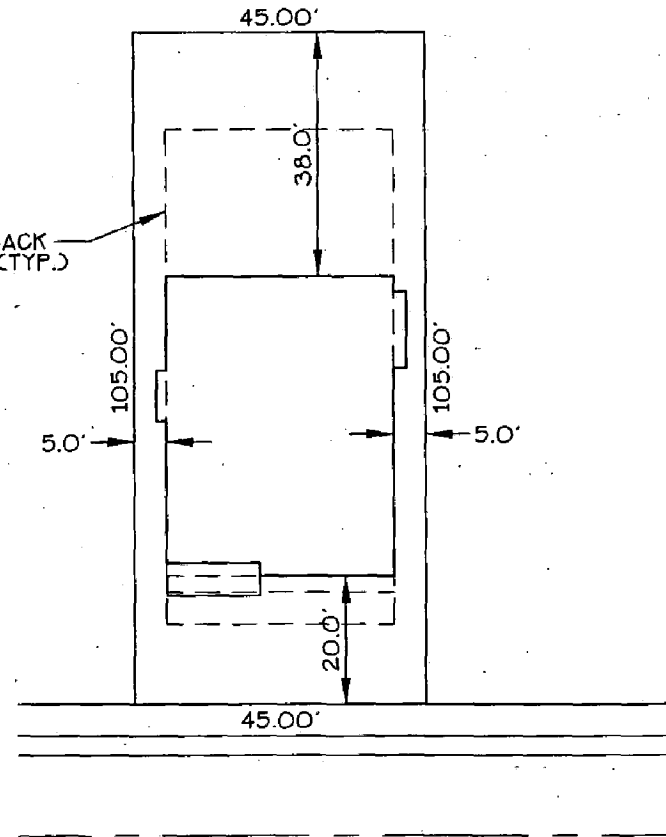
PLAN 2 PARKVIEW-VILLAGE 9, 10 & 11

CITY OF SACRAMENTO, CALIFORNIA

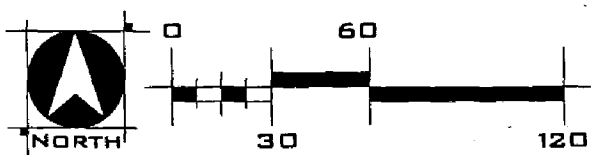
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TYPICAL CORNER LOT



TYPICAL INTERIOR LOT

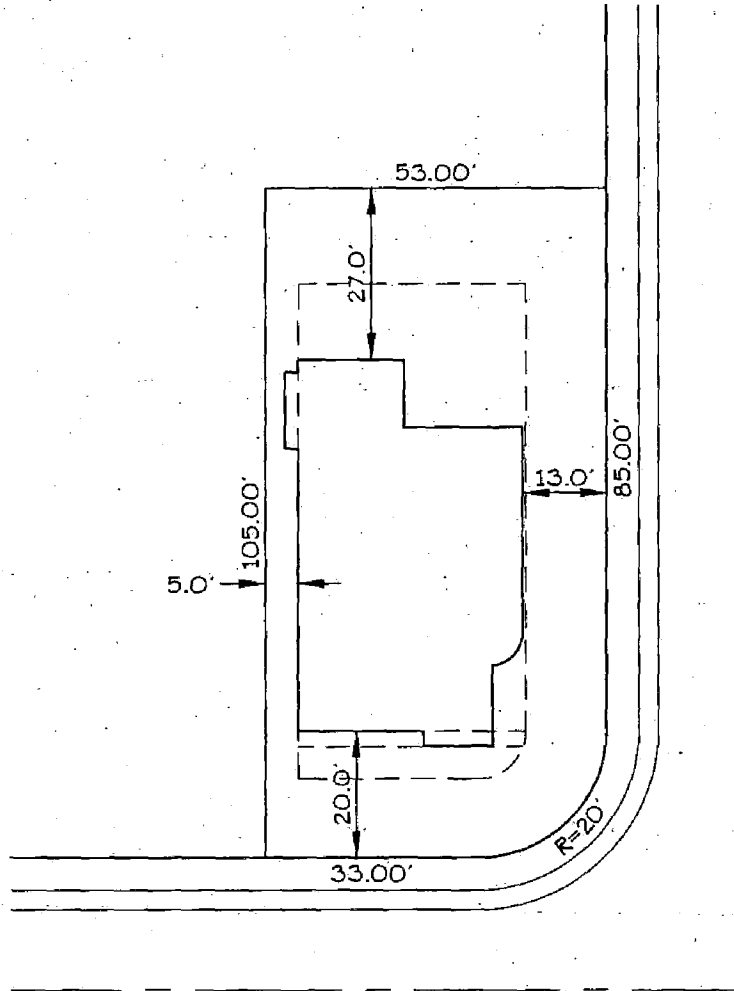


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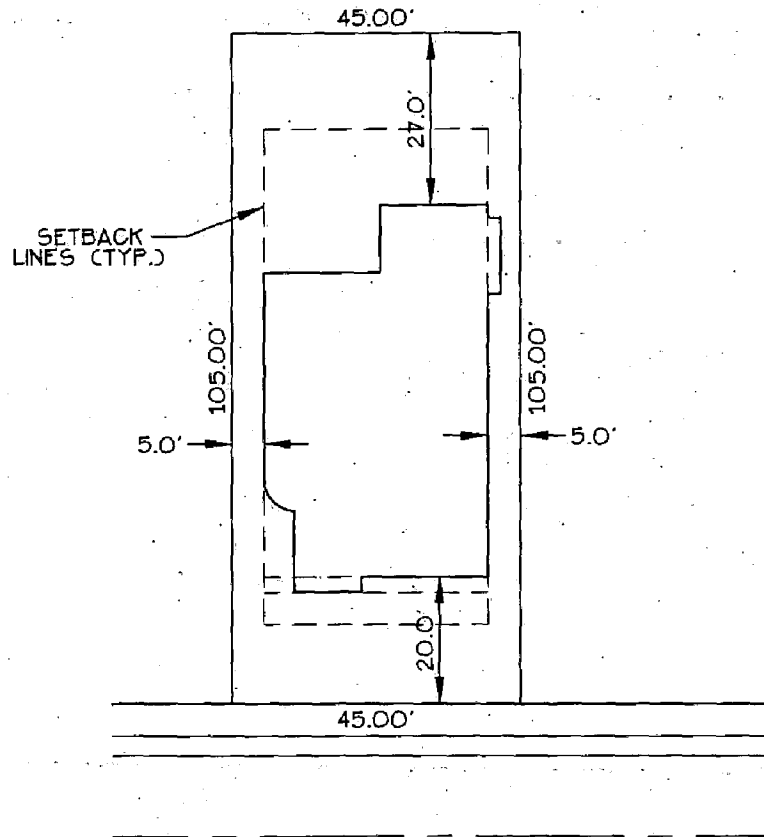
PLAN 3 PARKVIEW-VILLAGE 9, 10 & 11

CITY OF SACRAMENTO, CALIFORNIA

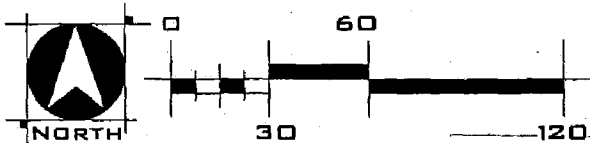
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TYPICAL CORNER LOT



TYPICAL INTERIOR LOT

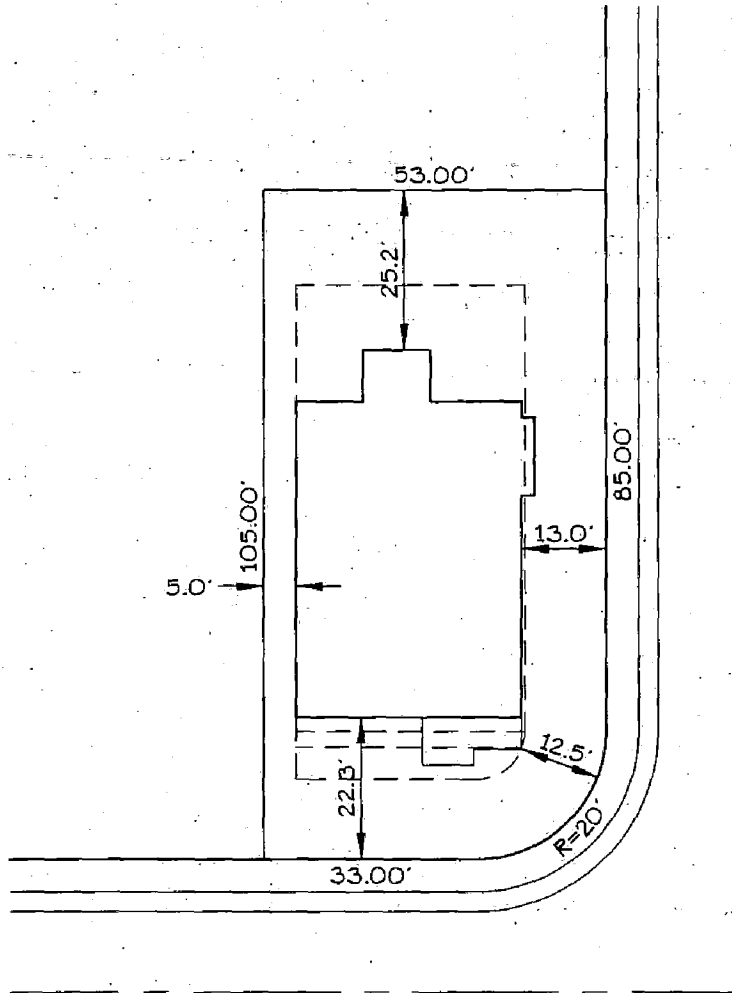


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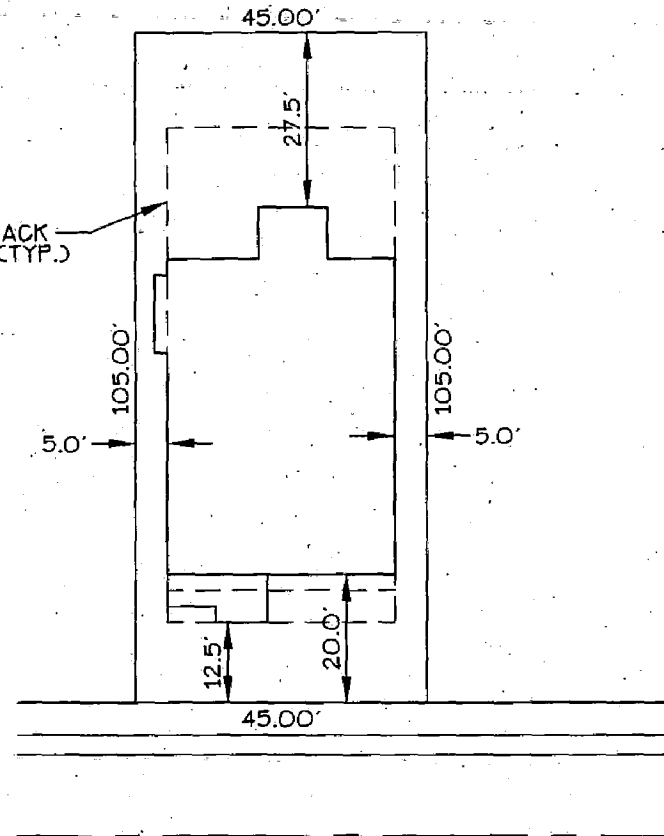
PLAN 4

PARKVIEW-VILLAGE 9, 10 & 11

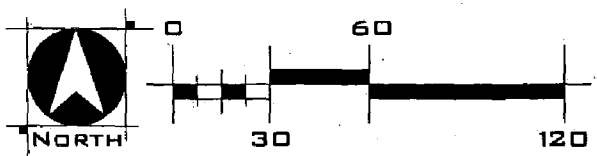
CITY OF SACRAMENTO, CALIFORNIA
 JULY 22, 2002



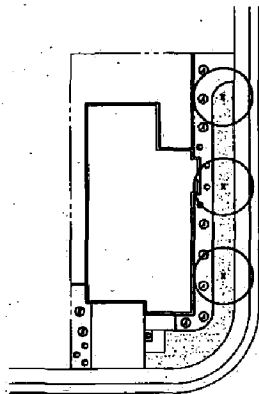
INTERIOR CORNER LOT



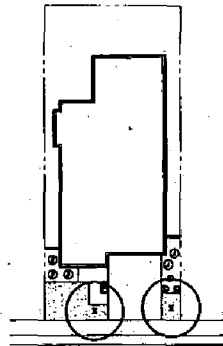
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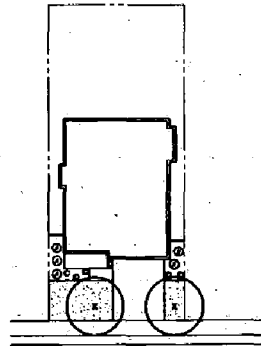
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 3301 C STREET, BLDG. 100-B, SACRAMENTO, CA 95816
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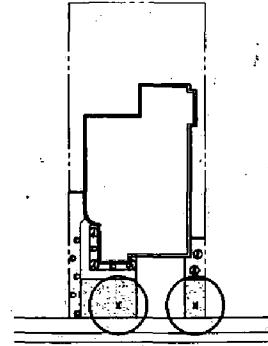
PLAN 1



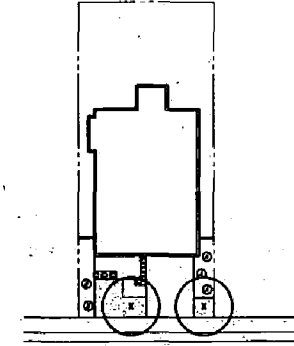
PLAN 1



PLAN 2



PLAN 3



PLAN 4

PLANT LIST

Symbol	Size	Scientific Name/ Common Name	Scientific Name/ Common Name	Special Notes
(A)	5 gal	<i>Dasylirion Fraseri</i> Dasylirion	<i>Yucca C. 'Dante's'</i> Dante Yucca	Symbol Size Botanical Name Common Name
Patella 1	5 gal	<i>Dasylirion Fraseri</i> Dasylirion	<i>Yucca C. 'Dante's'</i> Dante Yucca	
Patella 2	5 gal	<i>Phlox paniculata</i> Phlox	<i>Ligustrum A. 'Tetonum'</i> Wax Leaf Holly	
Patella 3	5 gal	<i>Chamaelirium L. 'Dore'</i> Indian Torch	<i>Quercus Parviflora</i> Covey Oak	
(B)	5 gal	<i>Erythronium P. 'White'</i> Oregon Ruby Star	<i>Myrica Commis</i> Myrica	
Patella 1	5 gal	<i>Erythronium P. 'White'</i> Oregon Ruby Star	<i>Myrica Commis</i> Myrica	
Patella 2	5 gal	<i>Dracopis Noellii</i> Dracopis	<i>Philadelphus T. 'Whisper's Dream'</i> Sweet Philadelphus	
Patella 3	5 gal	<i>Dasylirion Fraseri</i> Dasylirion	<i>Stipa Pappusaria</i> Stipa	
(C)	1 gal	<i>Juniperus E. 'Blue Jay'</i> Juniper	<i>Artemisia A. 'Felt's Blue'</i> Artemisia	
Patella 1	1 gal	<i>Juniperus E. 'Blue Jay'</i> Juniper	<i>Artemisia A. 'Felt's Blue'</i> Artemisia	
Patella 2	1 gal	<i>Hamamelis Hybrid</i> Hamamelis	<i>Artemisia A. 'Felt's Blue'</i> Artemisia	
Patella 3	1 gal	<i>Salix Bicolor</i> Purshwillow	<i>Artemisia A. 'Felt's Blue'</i> Artemisia	

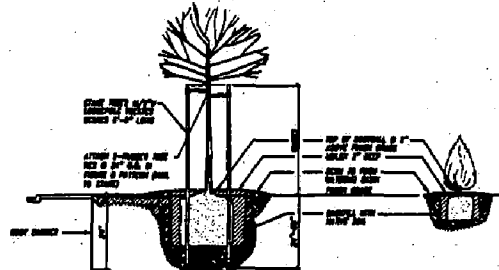


PLANTING NOTES

1. PLANT MATING TO RECEIVE 31 CHINA PLANTING TABLETS AT THE FOLLOWING RATES: 10-11, 42-44, 100-4.
2. APPLY A PRE-EMERGENT TO ALL NON TURF AREAS.
3. MOUND ALL PLANTED AREAS WITH A 2" LAYER OF WALK OR SAND.
4. SEE PLANTING DETAILS FOR ADDITIONAL INFORMATION.
5. SOIL TEST TURF AND OVERLAP AREAS AS FOLLOWS:
 PLANTED: 4 CORES PER 1000 SQUARE FEET
 1-20 PER 100 PER 1000 SQUARE FEET
6. BACKFILL PLANT PITS AT THE FOLLOWING RATES:
 1/4" WALK: 1/4"
 1/2" WALK: 1/2"
7. WHERE STREET TREES ARE WITHIN 5' OF WALK INSTALL 10 LINEAR FEET OF ROOTBARRIER MODEL 1004-S CENTERED ON TREE ALONG BACK OF WALK. SEE DETAIL FOR ADDITIONAL INFORMATION.

GENERAL NOTES

1. ADJACENT LOTS SHALL HAVE PALETTES THAT VARY IN FRONT YARD.
2. FENCE ESTIMATED FOR HOUSES ON CORNER LOTS WILL VARY BY LIST AND PLAN. TO BE DETERMINED BY OWNER'S SET, WITH APPROVAL BY OWNER.
3. STREET TREES SHALL BE INSTALLED AT APPROXIMATELY 30' ON CENTER AS MEASURED ALONG THE ENTIRE LENGTH OF THE STREET.



PLANTING AND STAKING W/ROOT BARRIER INSTALLATION DETAIL NO SCALE

LANDSCAPE PLAN
SCALE: 1" = 20'

REVISIONS	BY

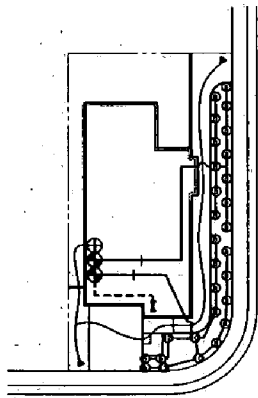
ODYSSEY LANDSCAPE CO., INC.
 LANDSCAPE DESIGN
 600 W. BEATT WILE RD. STOCKTON CA 95209
 (209) 953-9742 (209) 387-0163 FAX
 LICENSE # 149413
 www.odysseylandscape.com



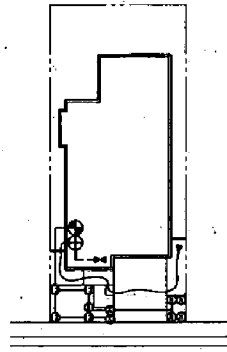
SHEET TITLE:
LANDSCAPE PLAN

PARKVIEW
 VILLAGE 9, 10 & 11
 SACRAMENTO CA
 BECK DEVELOPMENT

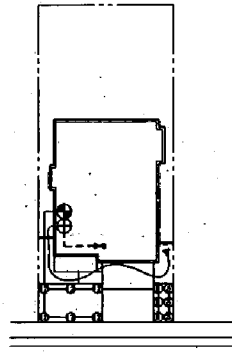
DATE 7/21/02
 SCALE 1" = 20'
 DRAWN KSC/AMN
 SHEET
L1
 OF 2 SHEETS



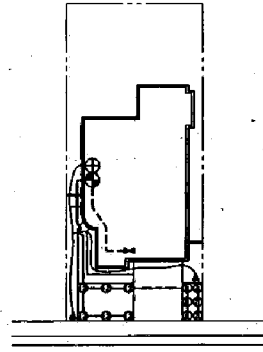
PLAN 1



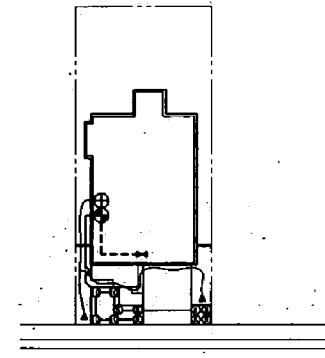
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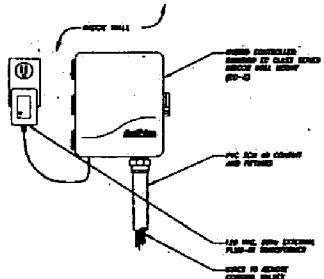
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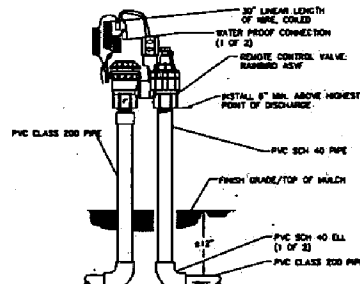
PLAN 3



PLAN 4



INTERIOR CONTROLLER
INSTALLATION DETAIL NO SCALE



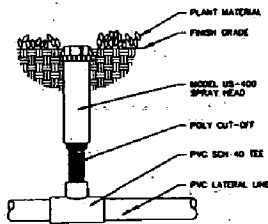
ANTI-SIPHON VALVE
INSTALLATION DETAIL SCALE

IRRIGATION LEGEND

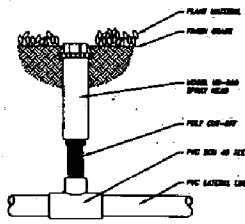
- ⊕ RAINBIRD 075-45VF, 3/4" ANTI-SIPHON VALVE
- ⊕ RAINBIRD 075-45VF, 1/4" ANTI-SIPHON VALVE WITH BRENDELCO PR-30 PRESSURE REGULATOR AND PEPCO PVPV 84 FILTER
- ⊕ RAINBIRD EC SERIES AUTOMATIC IRRIGATION CONTROLLER WITH # OF STATIONS REQUIRED
- ⊕ IBCO T-500, 1-1/4" BALL VALVE
- ⊕ PEPCO 640C END CAP
- ⊕ PEPCO P700, 1/2" DROP FURNING W/ EMITTERS (N/ 4" COVER)
- ⊕ RAINBIRD US-600 SERIES, # INDICATES NOZZLE SIZE
- 40 PVC MAINLINE, 1 1/4" (N/ 18" COVER)
- CL 200 PVC LATERAL LINE, 3/4" (N/ 12" COVER)
- CL 200 PVC LATERAL LINE, 1" (N/ 18" COVER)
- POP-UP SPRAY HEADS TO BE USED IN LAWN AREAS AND 6" POP-UP SPRAY HEADS IN GROUND AREAS.

IRRIGATION NOTES

1. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC AND UNDERGROUND AND SHALL CONFORM TO CITY, COUNTY, AND OTHER APPROPRIATE CODES AND REGULATIONS.
2. PLAN IS DIAGRAMATIC AND IS NOT INTENDED TO SHOW EXACT LOCATIONS OF PIPING, VALVES, ETC. INSTALL PIPE IN PLANTED AREAS UNLESS OTHERWISE POSSIBLE.
3. 4" POP-UP SPRAY HEADS TO BE USED IN LAWN AREAS AND 6" POP-UP SPRAY HEADS IN GROUND AREAS.
4. ELECTRICAL SUBCONTRACTOR TO PROVIDE 110V SERVICES AND SERVICE TO CONTROLLER LOCATIONS.
5. ADJUST HEADS AS NECESSARY TO PREVENT OVERSPRAY ON WALLS OR WALKS.
6. POINTS OF CONNECTION SHOWN ARE APPROXIMATE. ACTUAL LOCATIONS TO BE DETERMINED BY FIELD.
7. VALVES TO BE LOCATED ON SIDE OF HOUSE, HIDDEN FROM VIEW. LOCATION SHOWN ON PLAN IS FOR CLARITY ONLY.
8. TWO 3" SLEEVES TO BE INSTALLED UNDER EACH DRIVE.
9. SEE IRRIGATION DETAILS FOR ADDITIONAL INFORMATION.



RAINBIRD US-400
INSTALLATION DETAIL NO SCALE



RAINBIRD US-600
INSTALLATION DETAIL NO SCALE

IRRIGATION PLAN

SCALE: 1" = 20'

REVISIONS	BY

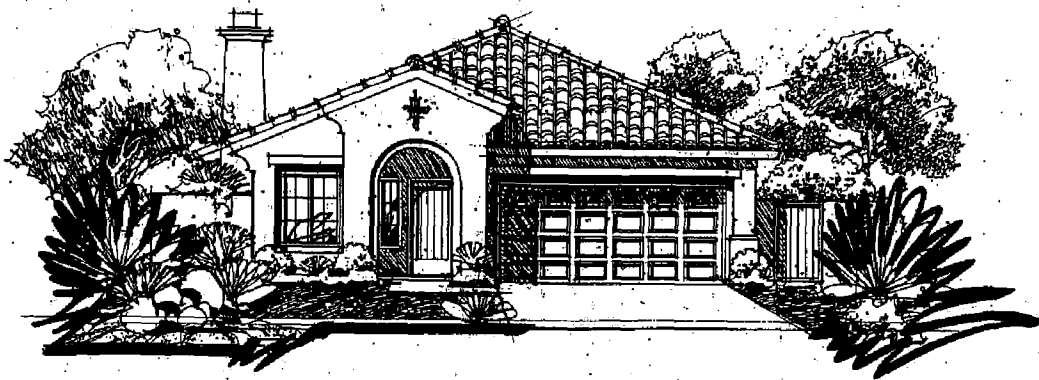
ODYSSEY LANDSCAPE CO., INC.
LANDSCAPE DESIGN
800 W. EIGHT MILE BLDG. 100
(209) 942-1415
LICENSE # 00124013
www.odysseylandscape.com



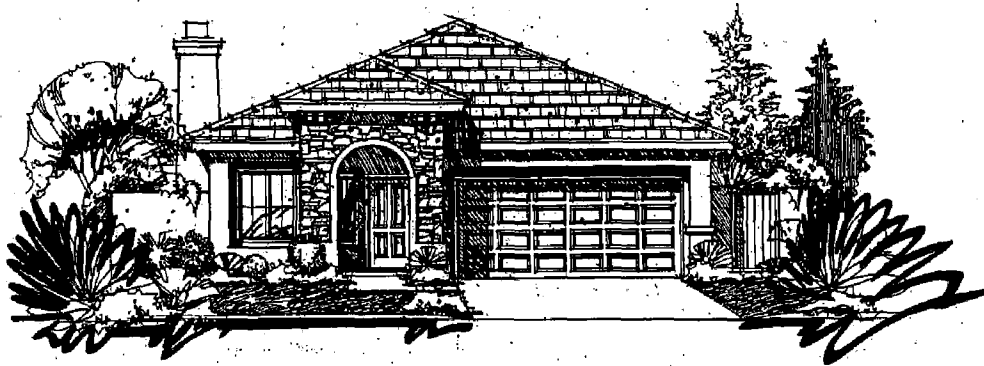
SHEET TITLE:
IRRIGATION PLAN

PARKVIEW
VILLAGE 9, 10 & 11
SACRAMENTO, CA
BECK DEVELOPMENT

DATE 7/22/02
SCALE 1" = 20'
DRAWN KSC/JAN
SHEET
L2
OF 2 SHEETS



ELEVATION A



ELEVATION B



ELEVATION C

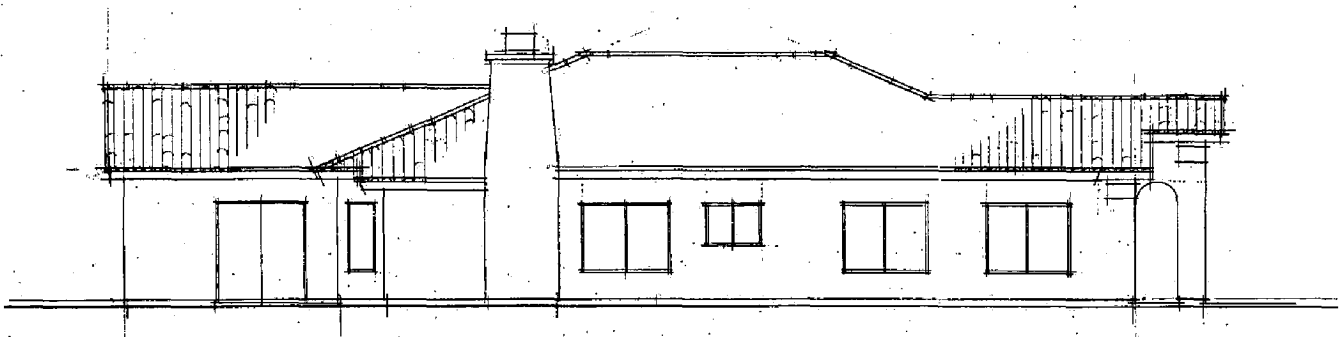
PLAN 1
ELEVATION STUDIES

PARKVIEW • 35' WIDE PRODUCT

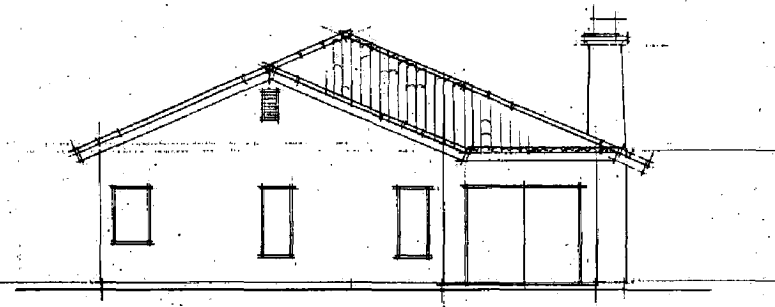
BECK PROPERTIES, INC.

LINDERO TH ASSOCIATES ARCHITECTS
07-077 6-12-2002

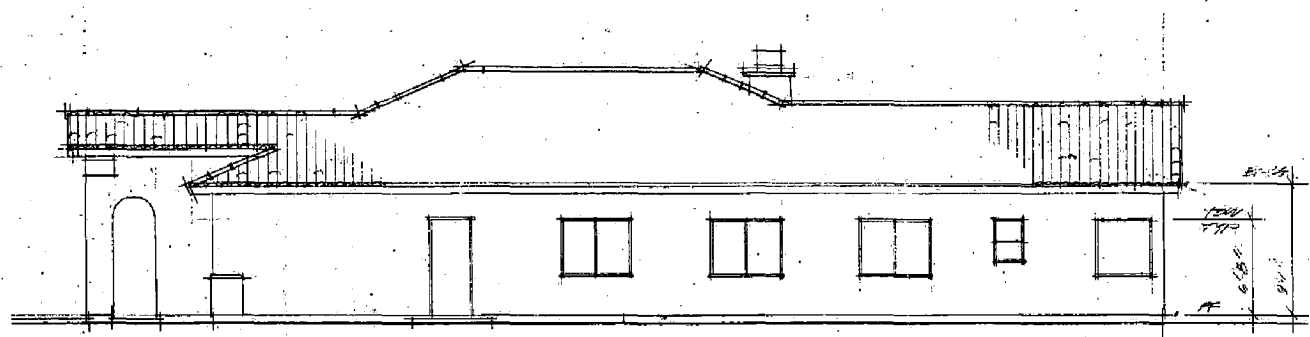
SCALE 1/4" = 1'-0"



ELEVATION A / LEFT SIDE



ELEVATION A / REAR



ELEVATION A / RIGHT SIDE

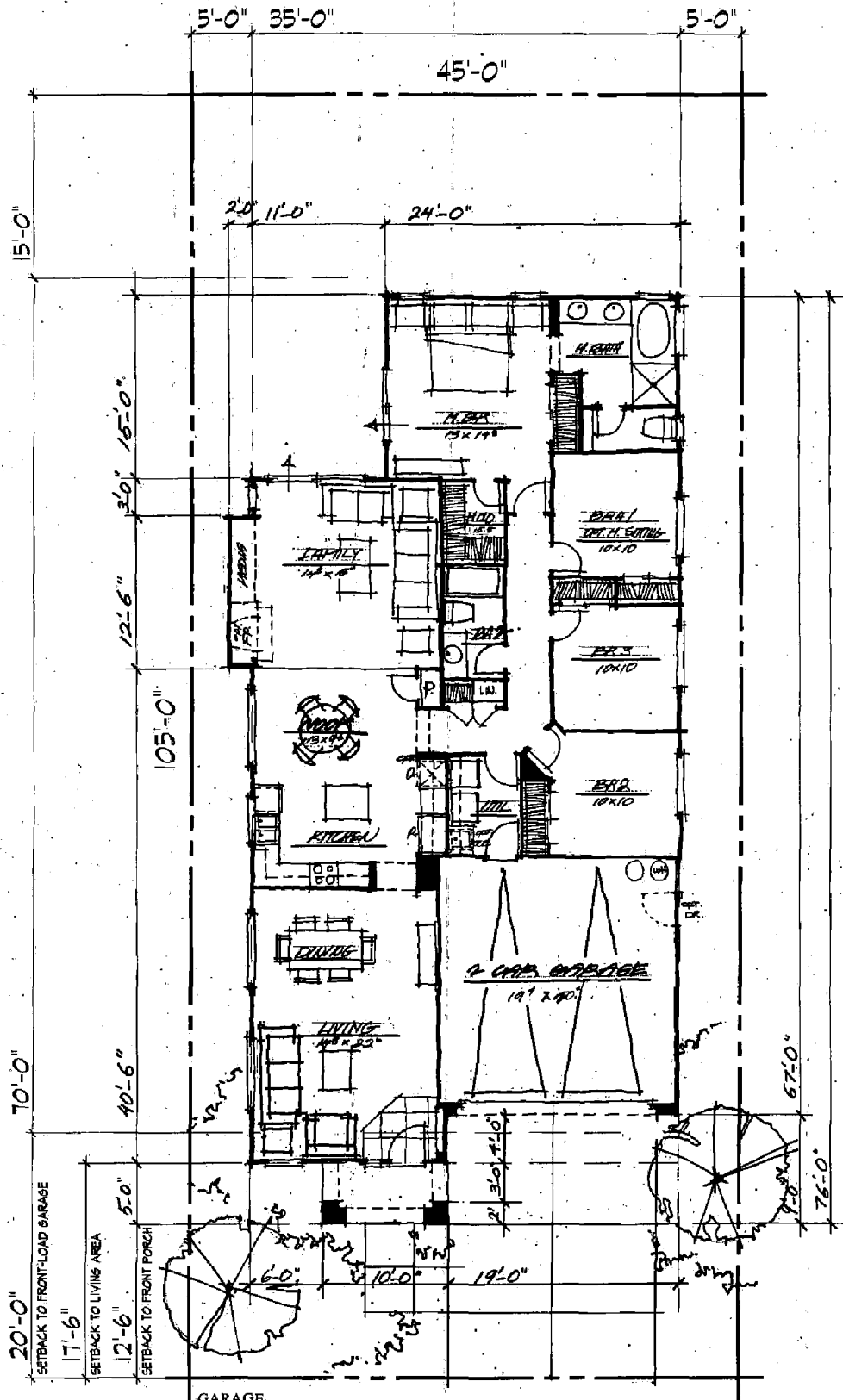
PLAN 1
ELEVATION STUDIES

PARKVIEW • 35' WIDE PRODUCT

BECK PROPERTIES, INC.

SCALE 1/4" = 1'-0"

LINDEROTH ASSOCIATES ARCHITECTS
03.07.02 7.8.2002

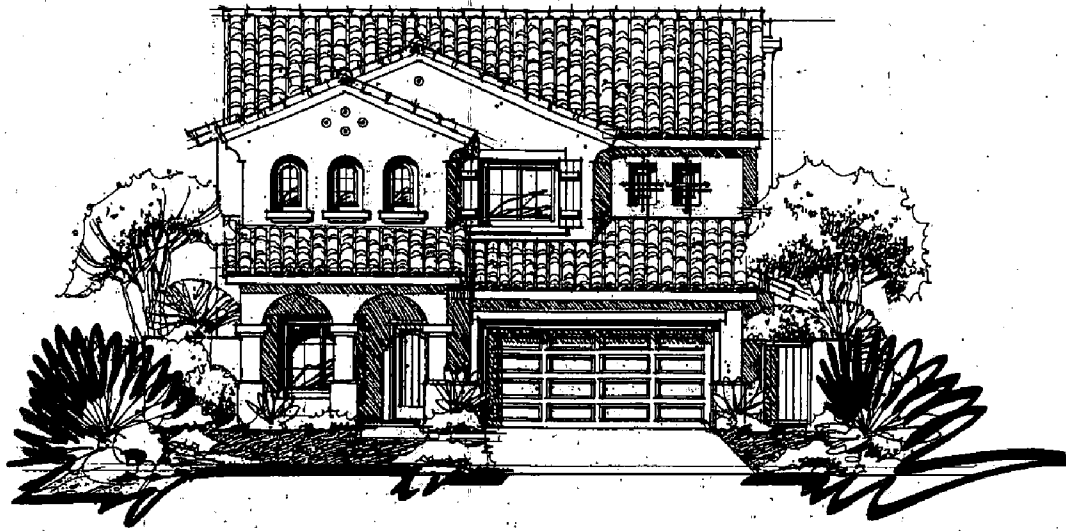


GARAGE	207 SF
413 SF. TOTAL x .50 (4' SETBACK W/LIVING)	
PORCH	50 SF
LIVABLE	1,850 SF
TOTAL	2,107 SF
COVERAGE	44.6%

PLAN 1
1,850 SF

PARKVIEW · 35' WIDE PRODUCT

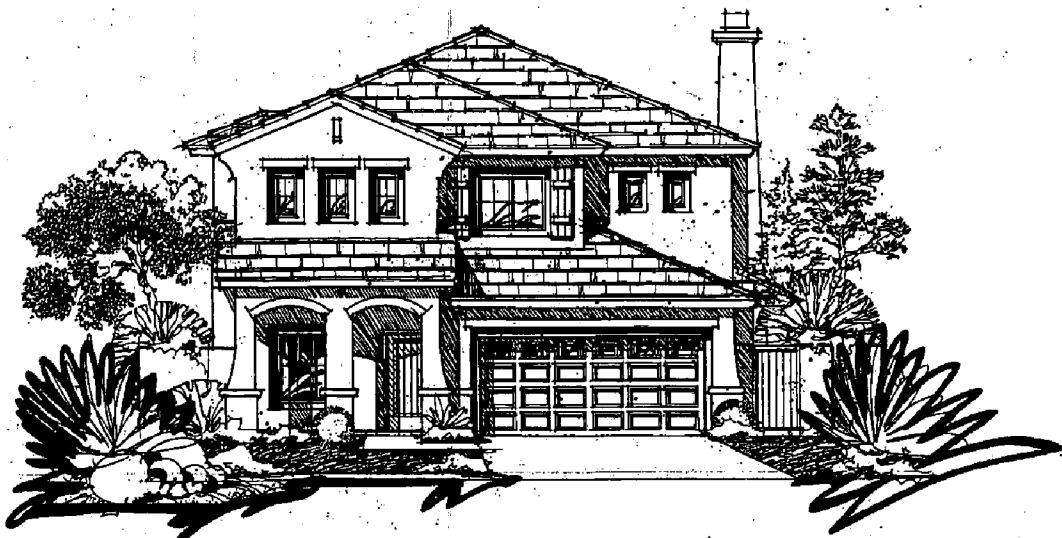
PROGRAM: 1,800 SF
SCALE 1/4" = 1'-0"



ELEVATION A



ELEVATION B



ELEVATION C

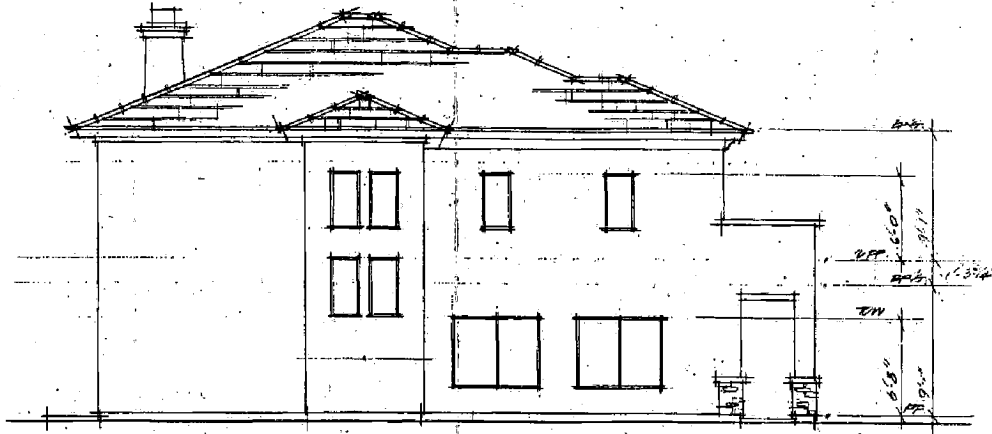
PLAN 2
ELEVATION STUDIES

PARKVIEW • 35' WIDE PRODUCT

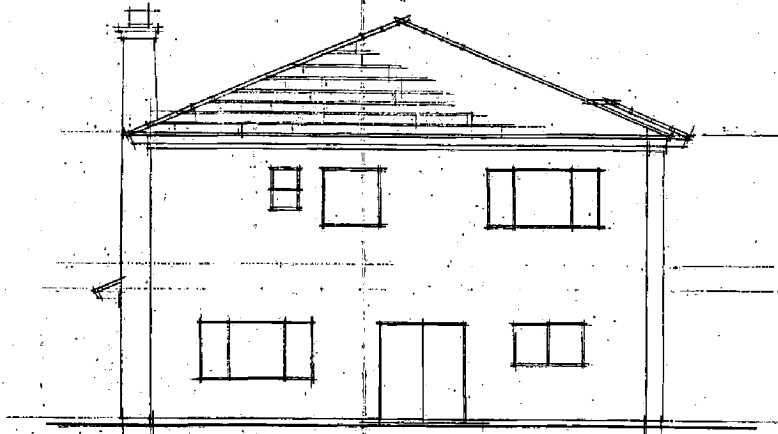
BECK PROPERTIES, INC.

LINDEROTH ASSOCIATES ARCHITECTS
07-077 6-17-2002

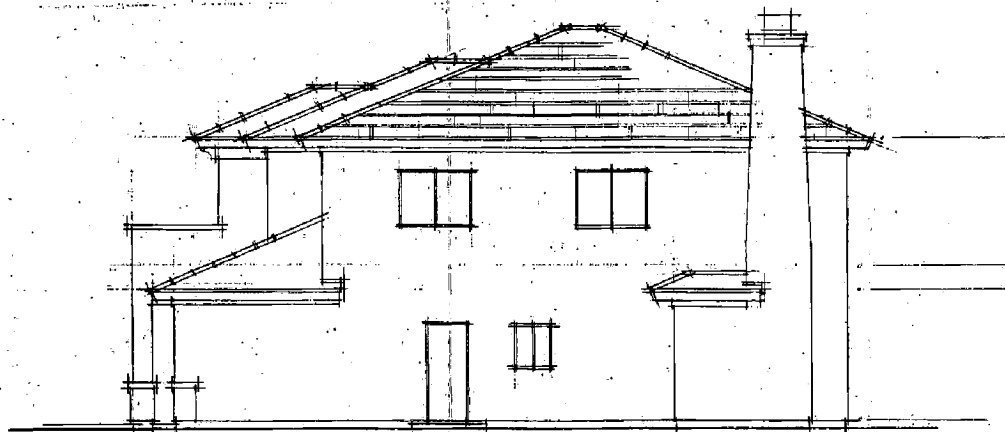
SCALE 1/4" = 1'-0"



ELEVATION B / LEFT SIDE



ELEVATION B / REAR



ELEVATION B / RIGHT SIDE

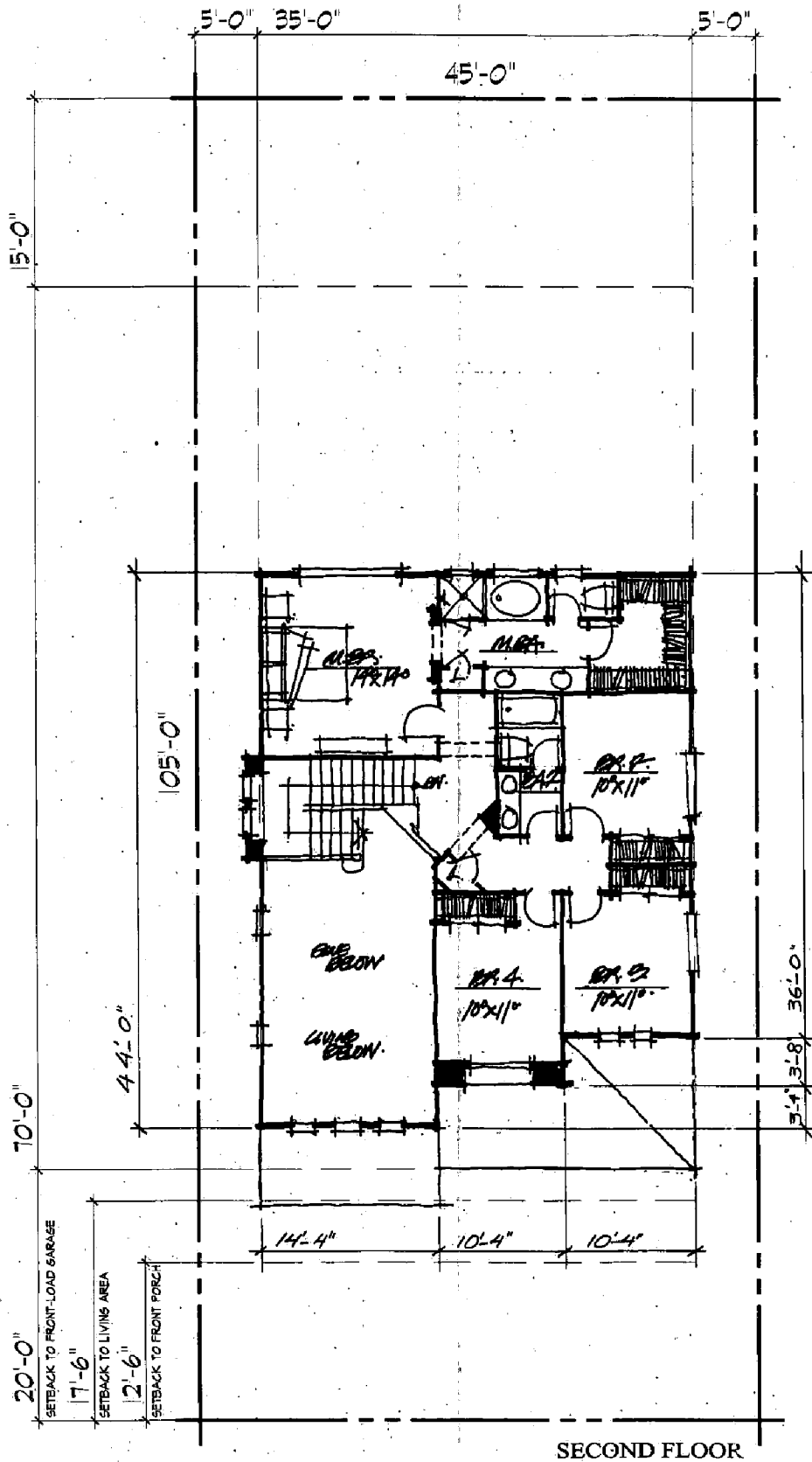
PLAN 2
ELEVATION STUDIES

PARKVIEW • 35' WIDE PRODUCT

BECK PROPERTIES, INC.

LINDEROTH ASSOCIATES ARCHITECTS
02-072 7-5-2002

SCALE 1/4" = 1'-0"



SECOND FLOOR

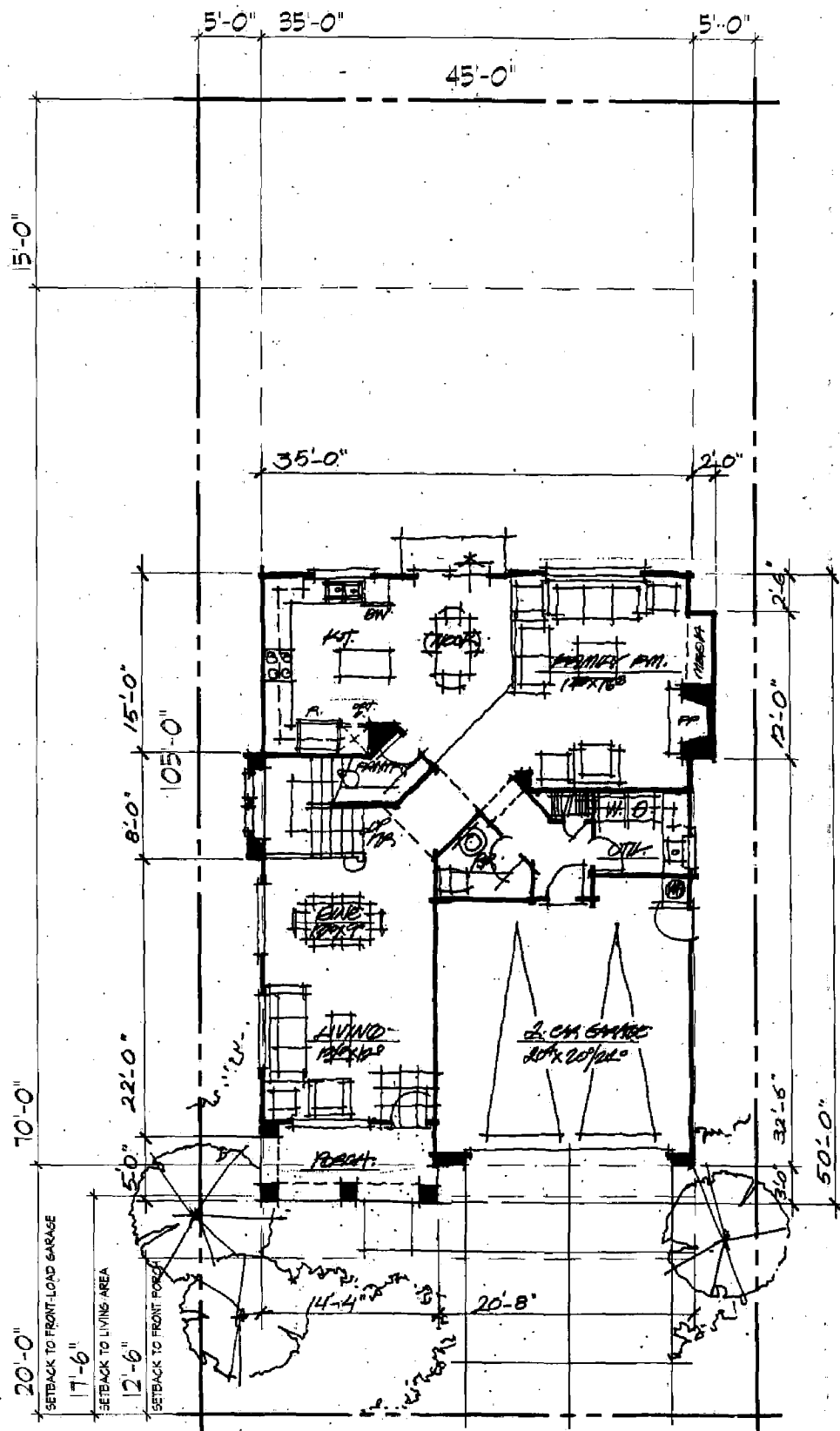
PLAN 2
2,158 SF

PARKVIEW • 35' WIDE PRODUCT

PROGRAM: 2,100 SF
SCALE 1/4" = 1'-0"

BECK PROPERTIES, INC.

LINDEROTH ASSOCIATES ARCHITECTS
02-072
6-12-2002
7-5-2002



GARAGE	450 SF
PORCH	84 SF
LIVABLE	1,143 SF
TOTAL	1,677 SF
COVERAGE	35.5%

FIRST FLOOR

PLAN 2
2,158 SF

PARKVIEW • 35' WIDE PRODUCT

PROGRAM: 2,100 SF
SCALE 1/4" = 1'-0"

BECK PROPERTIES, INC.

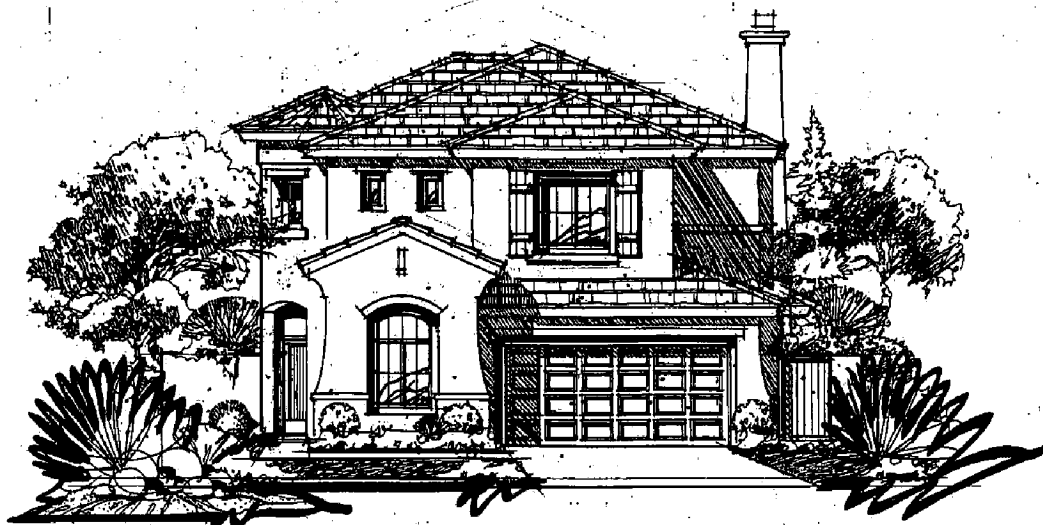
LINDEROTH ASSOCIATES ARCHITECTS
02-072 6-12-2002 7-5-2002



ELEVATION A



ELEVATION B



ELEVATION C

PLAN 3
ELEVATION STUDIES

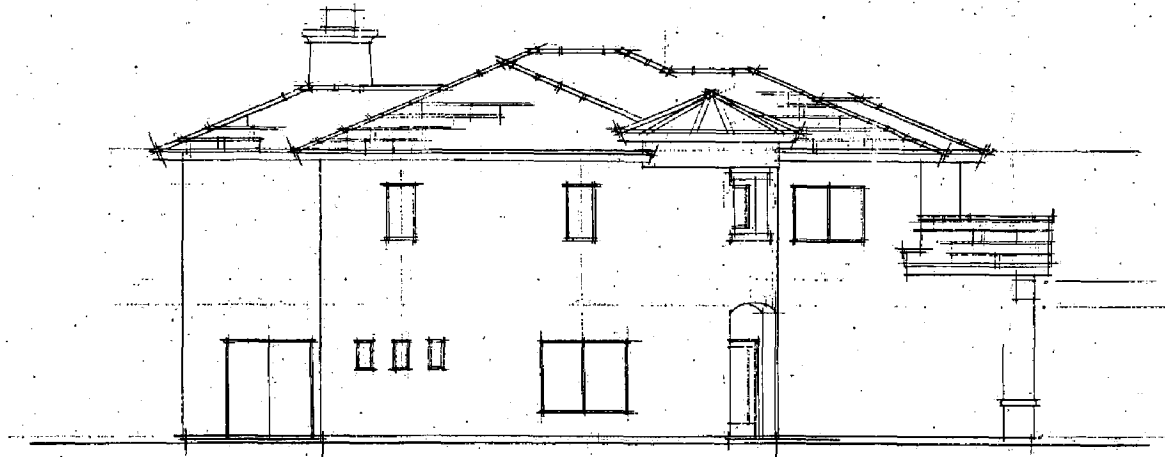
PARKVIEW • 35' WIDE PRODUCT

BECK PROPERTIES, INC.

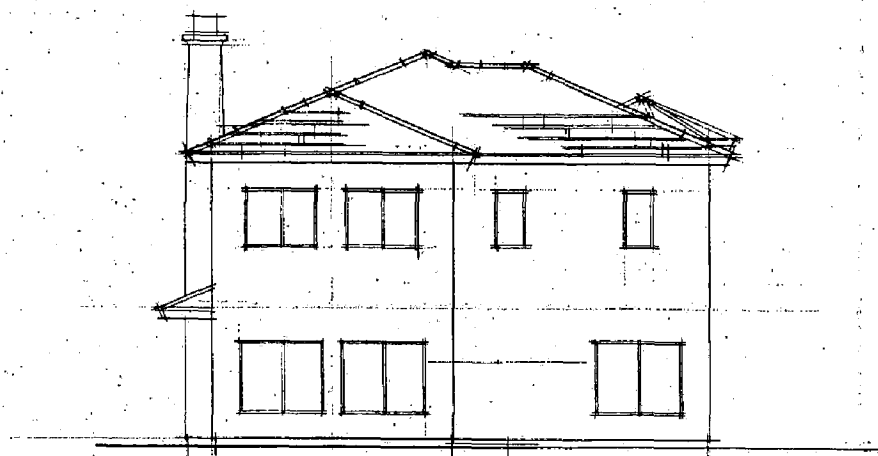
LINDEROTH ASSOCIATES ARCHITECTS
02-072

SCALE 1/4" = 1'-0"

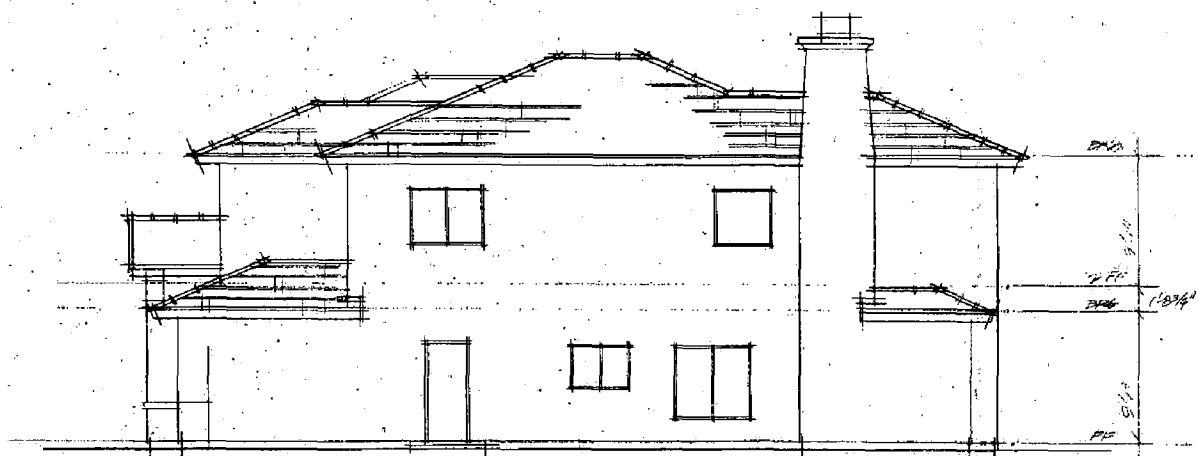
6-12-2002
7-5-2002



ELEVATION C / LEFT SIDE



ELEVATION C / REAR



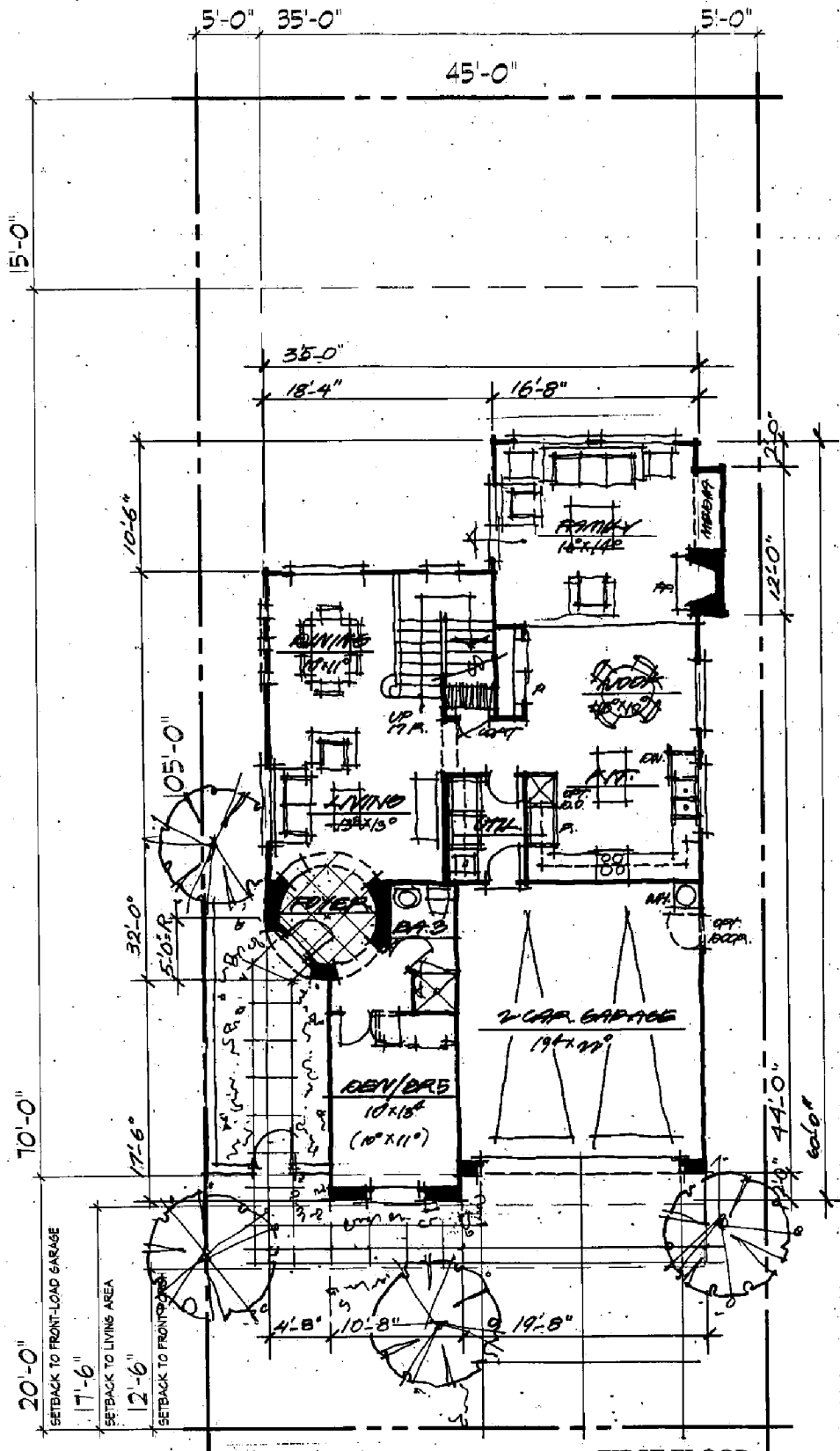
ELEVATION C / RIGHT SIDE

PLAN 3
ELEVATION STUDIES

PARKVIEW • 35' WIDE PRODUCT

BECK PROPERTIES, INC.

SCALE 1/4" = 1'-0"
LINDEROTH ASSOCIATES ARCHITECTS
02-072 7-5-2002



GARAGE	452 SF
PORCH	5 SF
LIVABLE	1,326 SF
TOTAL	1,783 SF
COVERAGE	37.7%

FIRST FLOOR

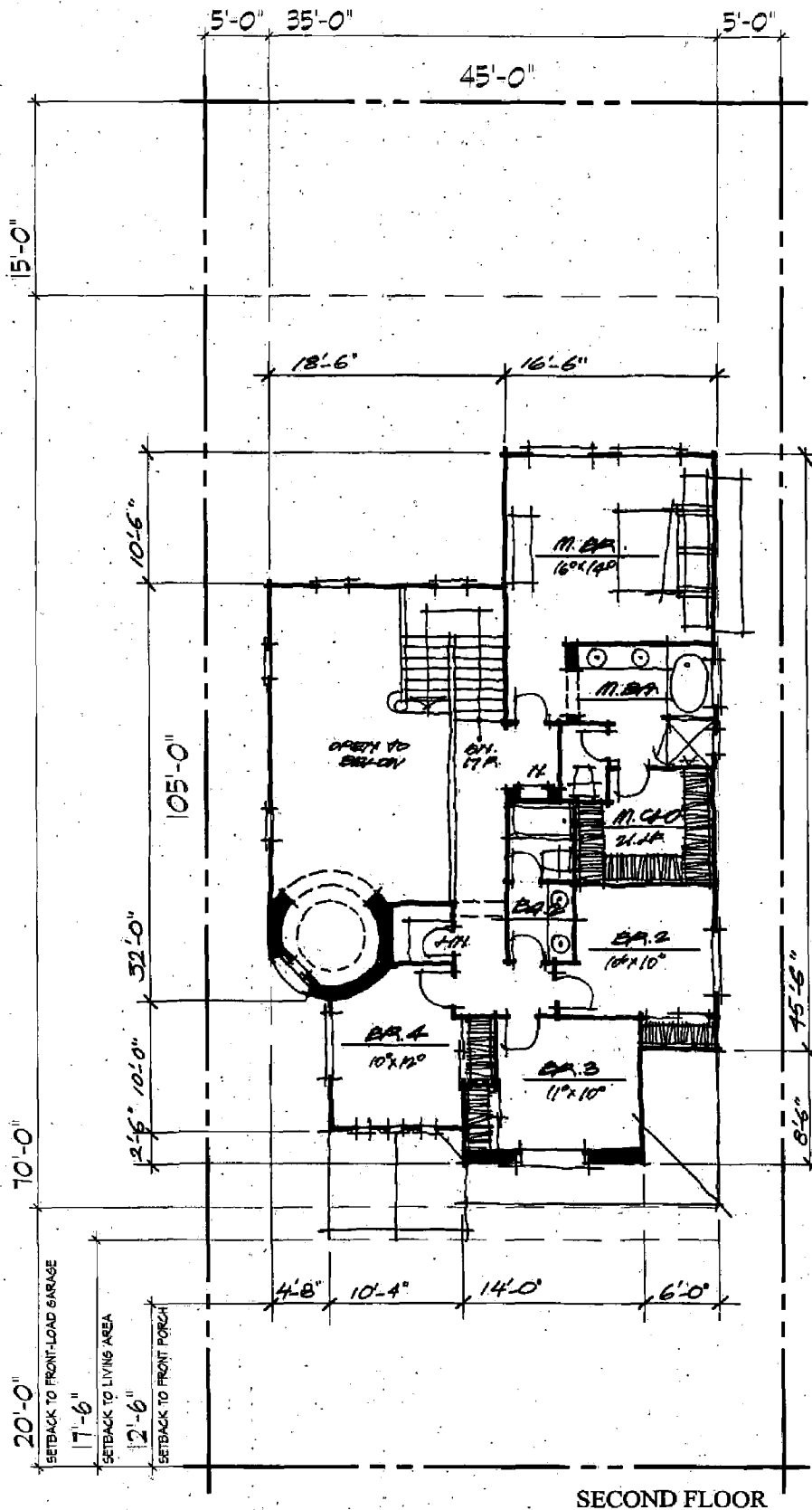
PLAN 3
2,434 SF

PARKVIEW • 35' WIDE PRODUCT

PROGRAM: 2,350 SF
SCALE 1/4" = 1'-0"

BECK PROPERTIES, INC.

LINDEROTH ASSOCIATES ARCHITECTS
02-072 6-12-2002 7-5-2002



SECOND FLOOR

PLAN 3
2,434 SF

PARKVIEW • 35' WIDE PRODUCT

PROGRAM: 2,350 SF
SCALE 1/4" = 1'-0"

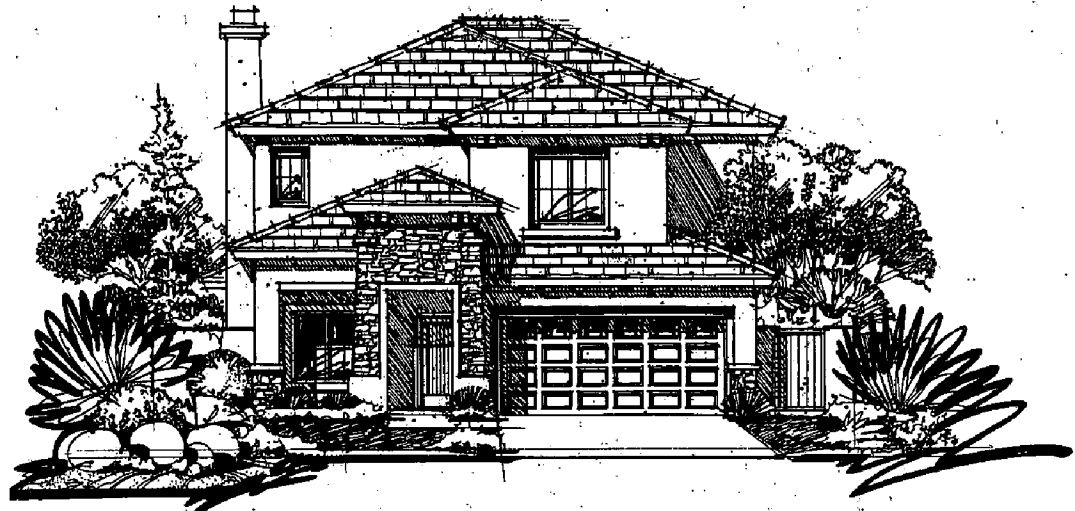
BECK PROPERTIES, INC.

LINDEROTH ASSOCIATES ARCHITECTS
02-072

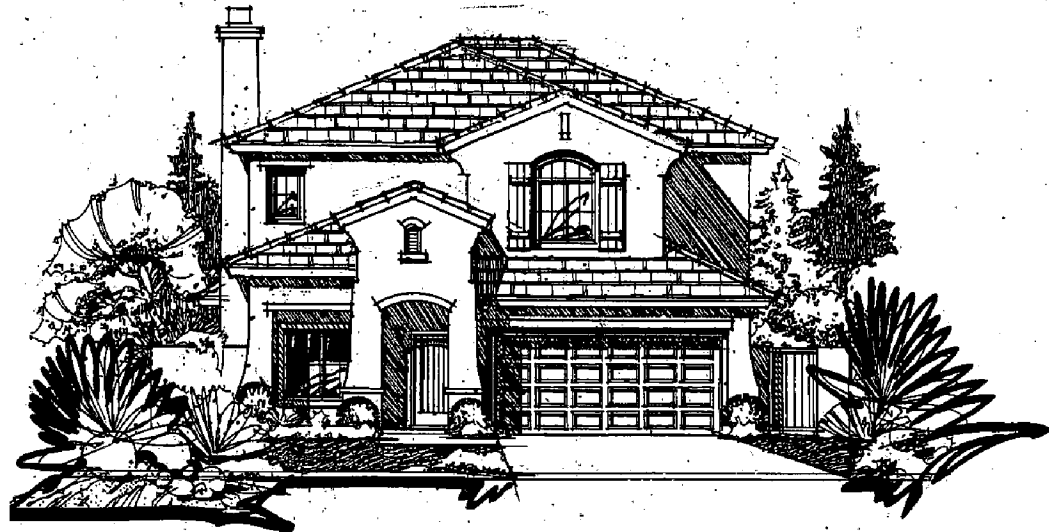
6-12-2002
7-5-2002



ELEVATION A



ELEVATION B

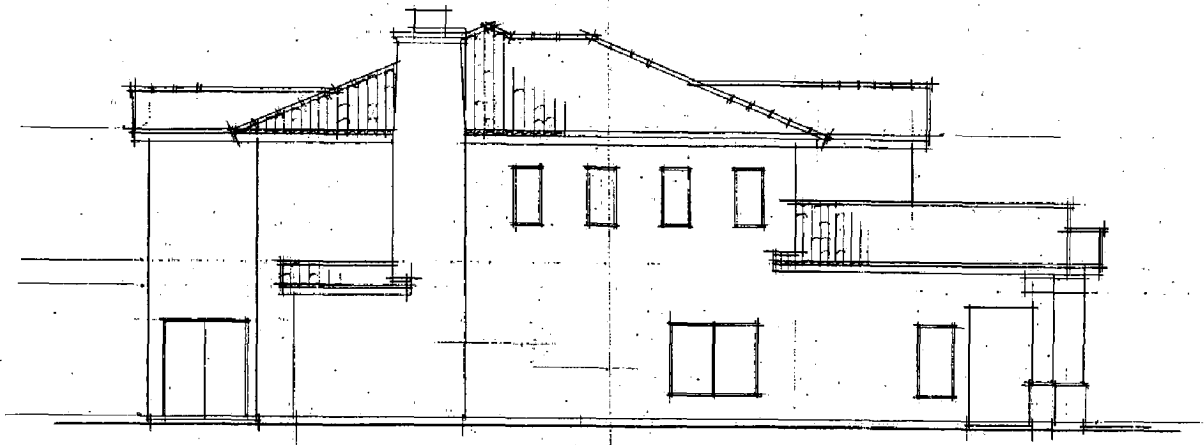


ELEVATION C

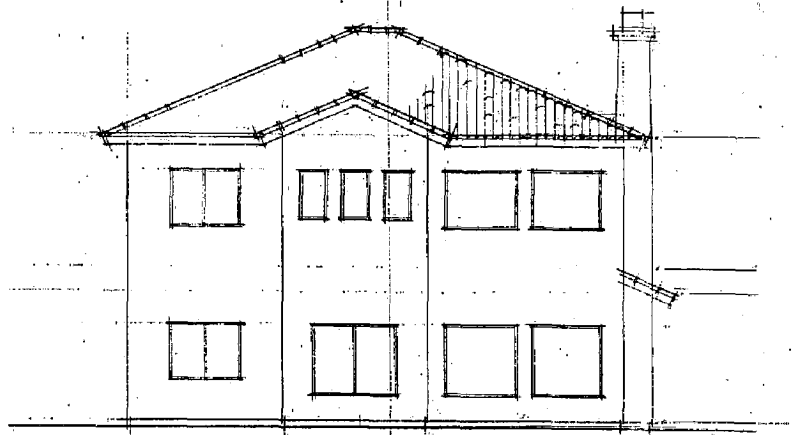
PLAN 4
ELEVATION STUDIES

VIEW • 35' WIDE PRODUCT

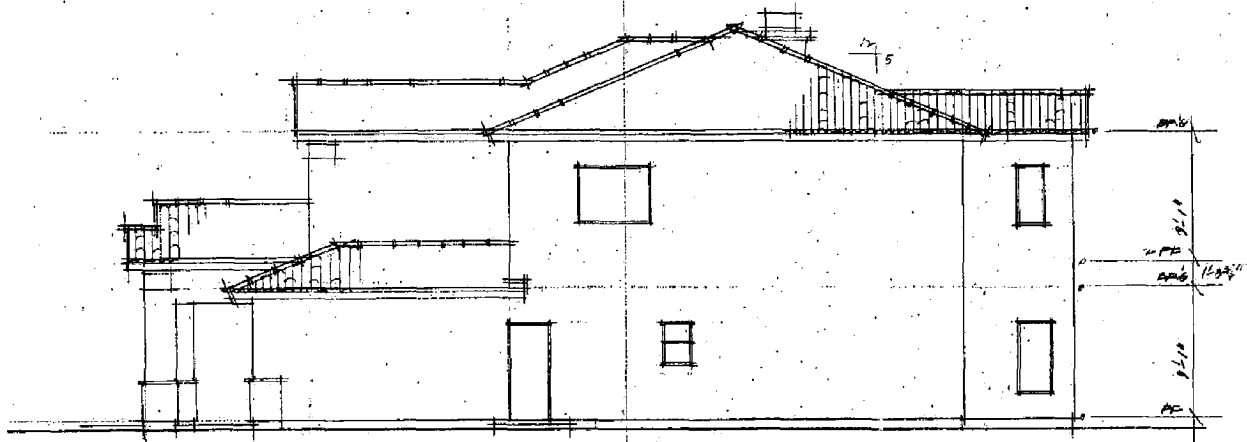
SCALE 1/4" = 1'-0"



ELEVATION A / LEFT SIDE



ELEVATION A / REAR



ELEVATION A / RIGHT SIDE

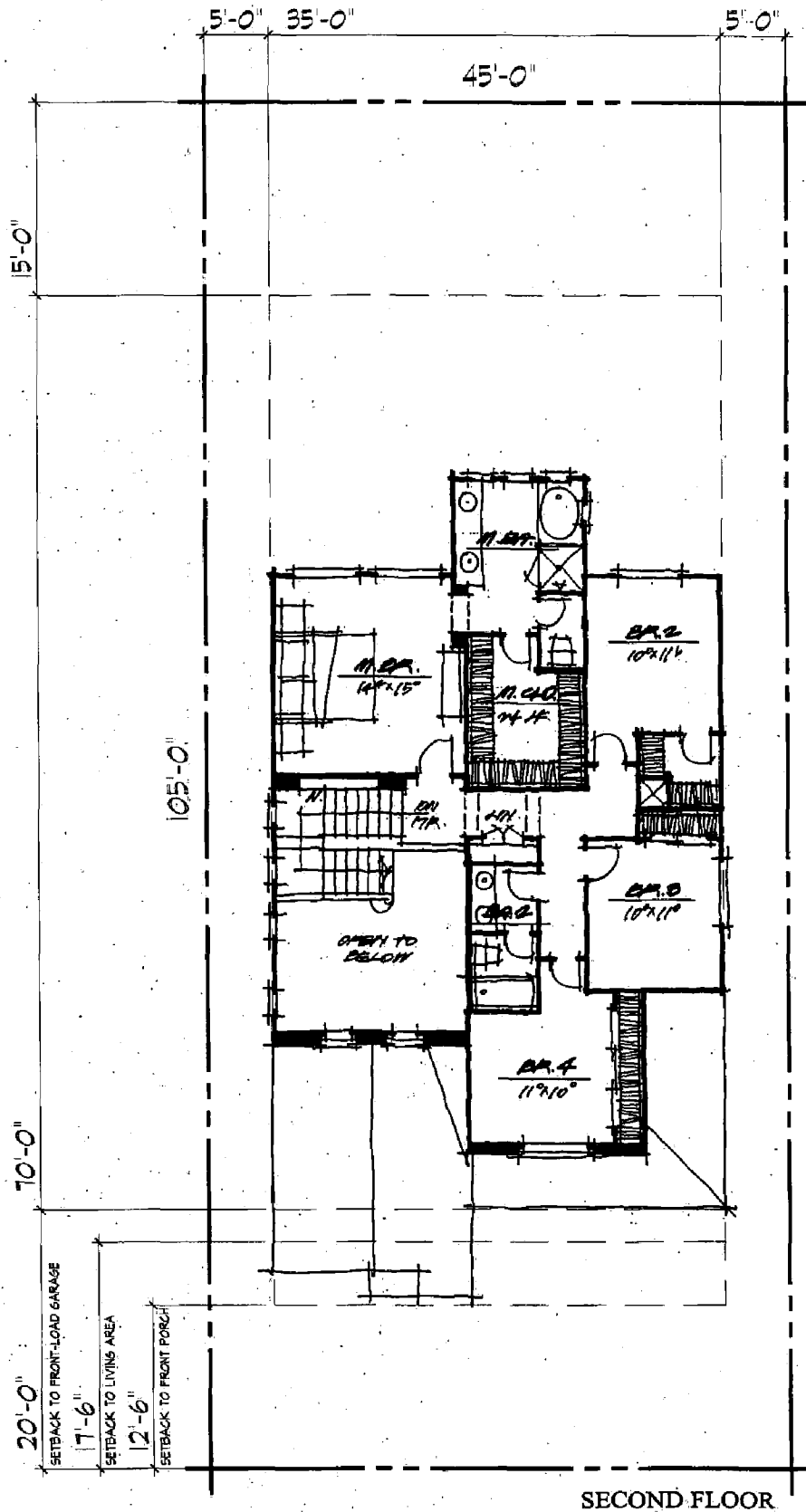
PLAN 4
ELEVATION STUDIES

PARKVIEW • 35' WIDE PRODUCT

BECK PROPERTIES, INC.

LINDEROTH ASSOCIATES ARCHITECTS
02-072 7-5-2002

SCALE 1/4" = 1'-0"



SECOND FLOOR

PLAN 4
2,530 SF

PARKVIEW • 35' WIDE PRODUCT

PROGRAM: 2,500 SF
SCALE 1/4" = 1'-0"

BECK PROPERTIES, INC.

LINDEROTH ASSOCIATES ARCHITECTS
7-1-2002
7-5-2002

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD
LETTER OF AGREEMENT**

P02-122: -BECK PROPERTIES, INC. IN PARKVIEW - VILLAGES 9 AND 10

PROJECT NAME/FILE #: Parkview - Villages 9 and 10
(114 Units total), P02-122

PROJECT LOCATION: West side of Duckhorn Boulevard, North of South Loop Road


ASSESSOR'S PARCEL NUMBER(S): A portion of 225-0140-032

ZONING: R-1A-PUD

APPLICANT'S NAME/ADDRESS: Beck Properties, Inc. (Larry French)
3114 W. Hammer Lane, Stockton, CA 95209
Phone: (209) 957-0331; Fax: (209) 957-0363

I, LARRY FRENCH (please print and include title), agree to amend the project application, P02-122, to incorporate the attached Conditions of Approval into the requested Planning Director's Special Permit (PDSP).

I acknowledge that this project, P02-122, is subject to these PDSP Conditions of Approval. These PDSP Conditions of Approval will establish responsibilities for the monitoring of my project by various City Departments, and by other public agencies under the terms agreed upon in the PDSP Conditions of Approval. I understand that the PDSP Conditions of Approval for my project may require the expenditure of owner/developer funds where necessary to comply with the provisions of said PDSP Conditions of Approval.


Signature

VICED PRESIDENT
Title

10-23-02
Date