



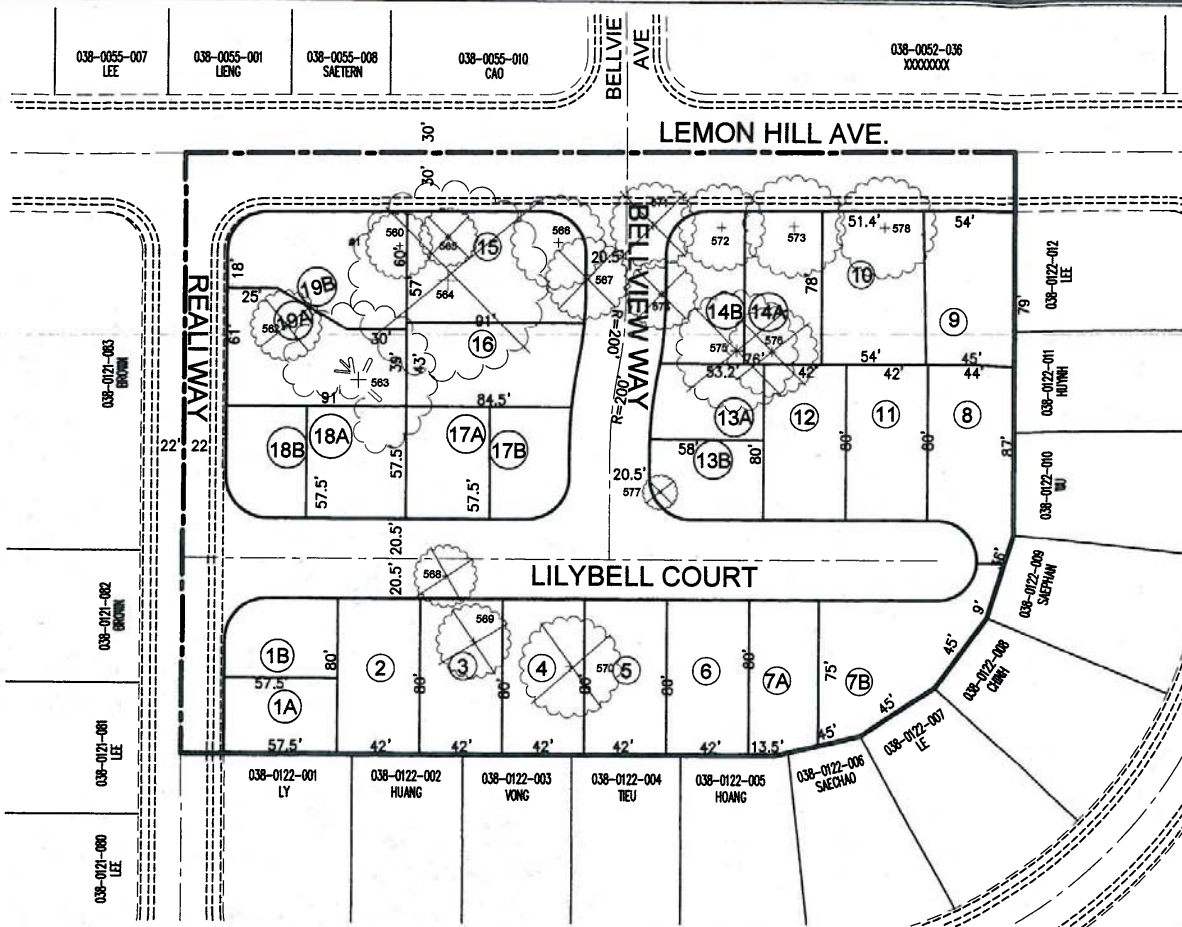
City of Sacramento
Development Services
Department
Current Planning
Division

P06-100
Title: Lemon Bell 2
Location: 7200 Lemon Hill
Avenue
Planner: Antonio Ablog



Aerial Photos from March 2006





TENTATIVE SUBDIVISION MAP

LEMON BELL 2

A.P.N. 038-0122-013,014,017,018

Date: January 2009

Scale: 1"=30'

Owner: MHL INVESTMENTS INC.
40 ANGUIDO COURT
HILLSBOROUGH, CA 94010
c/o DC MACDONALD
(925) 383-5525

Site Address: CORNER OF LEMON HILL AVE & REALI WY,
SACRAMENTO, CA

Submitted by: ROSE'S ENGINEERING
7484 RIDGE WILLOW CT
SACRAMENTO CA, 95828
(916) 837-6058

Parcel Description: 2.92 Gross Acre at the SE corner of Lemon Hill Ave
and Real Way.

Source of Topo: Field Survey
Contour Interval: 1 Foot
Existing Sizes: 2.92 Gross Acres
Existing Zoning: R1
Proposed Zoning: R1A
Proposed Use: Single Family Dwellings
Existing Improvements: Single Family Dwelling
F.E.M.A. Zone X

Roads: City of Sacramento
Water: City of Sacramento
Sewage: City of Sacramento
Drainage: City of Sacramento

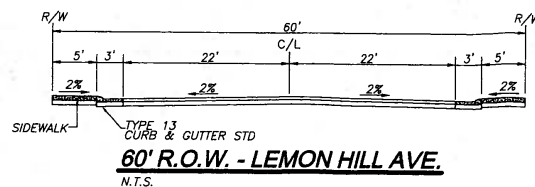
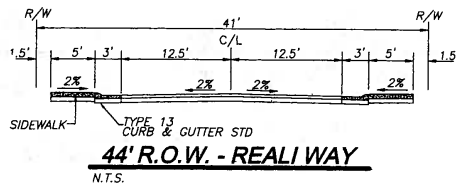
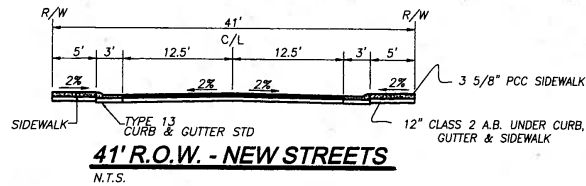
Gas: Pacific Gas & Electric (800) 468-4743
5555 Florin-Perkins Rd, Sacramento, CA 95826

Electric: S.M.U.D. (916) 732-7075
1701 58th St, Sacramento, CA 95817

Telephone: Pacific Bell (916) 453-7048
3675 T St, Sacramento, CA 95816

Fire: Sacramento City Fire Department (916) 433-1300
5770 Freeport Bl, Suite 200, Sacramento, CA 95822

School: Sacramento City Unified School Dist, (916) 643-7400
5735 47th Ave, Sacramento, CA 95824



TREE SCHEDULE

TREE #	TYPE	TRUNK DIA.	DRYLINE DIA.
560	DEADOR CEDAR	19"	17"
561	DEADOR CEDAR	16"	15"
562	DEADOR CEDAR	28"	18"
563	VALLEY OAK	39"	41"
564	ITALIAN STONE PINE	31"	34"
565	DEADOR CEDAR	16"	15"
566	DEADOR CEDAR	18"	22"
567	CAMPOR	14"	21"
568	ALMOND	42"	16"
569	ENGLISH WALNUT	17"	19"
570	ITALIAN STONE PINE	25"	26"
571	ZELKOVA	20"	22"
572	ZELKOVA	19"	22"
573	ZELKOVA	38"	26"
574	INCENSE CEDAR	34"	18"
575	MODESTO ASH	30"	31"
576	FRUITLESS MULBERRY	24"	20"
577	VALLEY OAK	24"	20"
578	CHINABERRY	24"	20"



PLOT PLAN EXHIBIT

LEMON BELL 2

A.P.N. 038-0122-013,014,017,018

Date: January 2009

Scale: 1"=30'

Owner: MHL INVESTMENTS INC.
40 ANGUIDO COURT
HILLSBOROUGH, CA 94010
c/o DC MACDONALD
(925) 383-5525

Site Address: CORNER OF LEMON HILL AVE & REALI WY,
SACRAMENTO, CA

Submitted by: ROSE'S ENGINEERING
7484 RIDGE WILLOW CT.
SACRAMENTO CA. 95828
(916) 837-6058

Parcel Description: 2.92 Gross Acre at the SE corner of Lemon Hill Ave and Reali Way.

Source of Topo: Field Survey

Contour Interval: 1 Foot

Existing Sizes: 2.92 Gross Acres

Existing Zoning: R1

Proposed Zoning: R1A

Proposed Use: Single Family Dwellings

Existing Improvements: Single Family Dwelling

F.E.M.A. Zone X

Roads: City of Sacramento

Water: City of Sacramento

Sewage: City of Sacramento

Drainage: City of Sacramento

Gas: Pacific Gas & Electric (800) 468-4743
5555 Florin-Parkside Rd, Sacramento, CA 95826

Electric: S.M.U.D. (916) 732-7075
1701 20th St, Sacramento, CA 95817

Telephone: Pacific Bell (916) 453-7048
3676 T St, Sacramento, CA 95816

Fire: Sacramento City Fire Department (916) 433-1300
5770 Freeport Bl, Suite 200, Sacramento, CA 95822

School: Sacramento City Unified School Dist. (916) 843-7400
5735 47th Ave, Sacramento, CA 95824



THE DISTRIBUTION OF HOUSES IS REPRESENTATIONAL. WHAT HOUSE MODELS BUILT ON SPECIFIC LOTS WILL BE DETERMINED BY MARKET DEMAND.

NEW STREET TREES

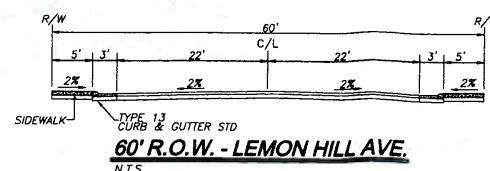
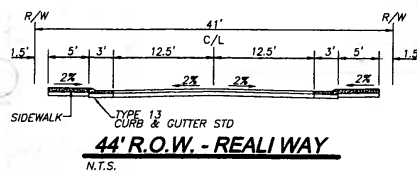
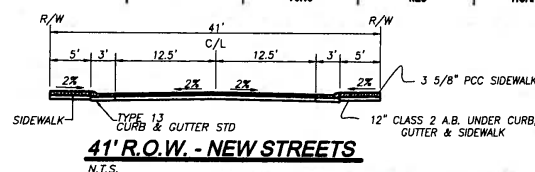
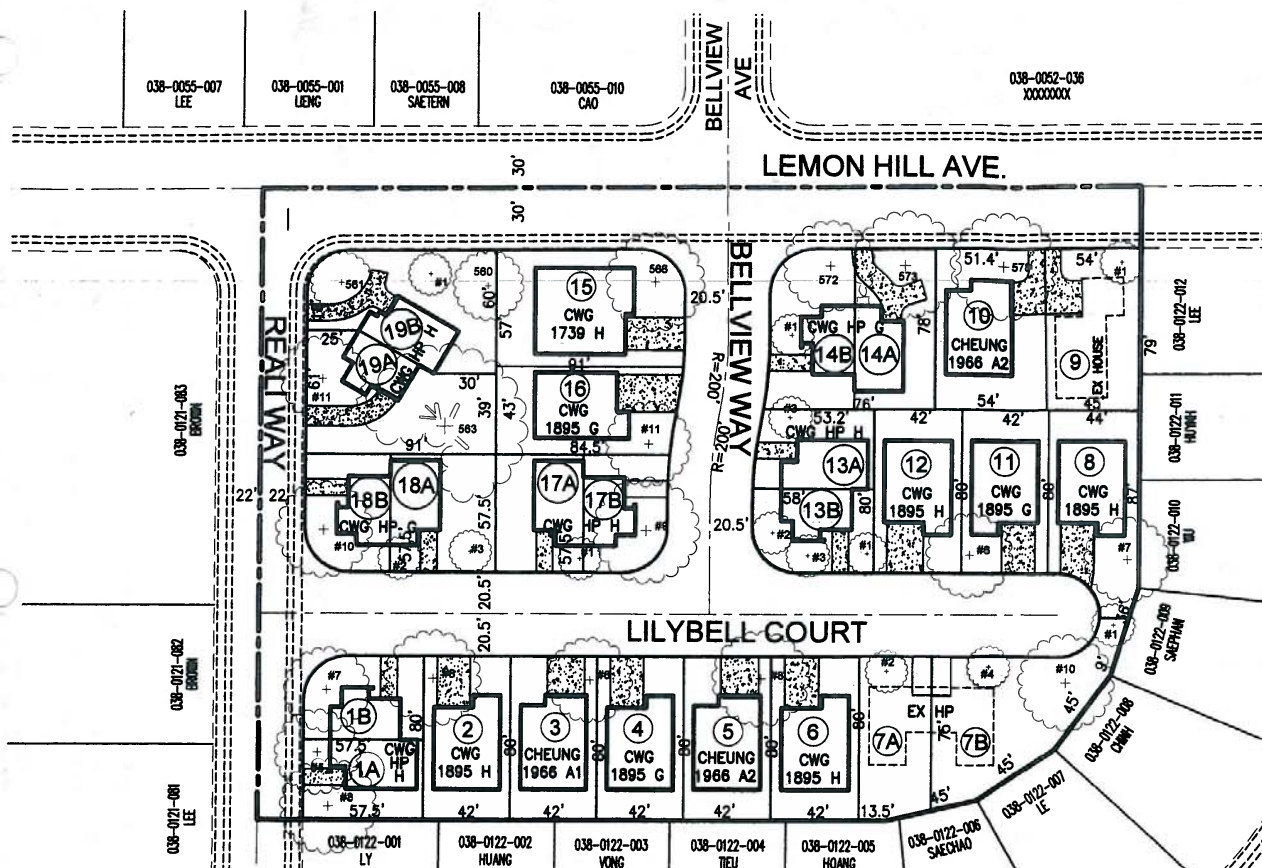
TREE #	TYPE
1	EASTERN REDBUD
2	CREPE MYRTLE
3	CHINA PALM
4	FRANCE TREE
5	EUROPEAN HORSEBEECH
6	NORWAY MAPLE
7	CHINESE PISTACHE
8	RED MAPLE
9	WILLOW OAK
10	RED OAK
11	LONDON PLANE

EXISTING TREE SCHEDULE

TREE #	TYPE	TRUNK DIA.	COPISE DIA.
560	DEADOR CEDAR	19"	17'
561	DEADOR CEDAR	16"	15'
563	VALLEY OAK	39"	41'
565	DEADOR CEDAR	16"	15'
566	DEADOR CEDAR	18"	22'
572	ZELKOVA	19"	22'
573	ZELKOVA	38"	26'
578	CHINABERRY	24"	20'



VICINITY MAP
NO SCALE



ROSE'S ENGINEERING
ENGINEERING PLANNING SERVICES
7484 RIDGE WILLOW CT. SACRAMENTO CA. 95828
BUS. (916) 837-6058



STREETSCAPE EXHIBIT

LEMON BELL II
SACRAMENTO, CALIFORNIA

SHEET NUMBER



THE DISTRIBUTION OF HOUSES IS REPRESENTATIONAL. WHAT HOUSE MODELS BUILD ON SPECIFIC LOTS WILL BE DETERMINED BY MARKET DEMAND.



LEMON BELL 2

A.P.N. 038-0122-013,014,017,018

Date: NOVEMBER 2007

Scale: 1"=60'

Owner: MHL INVESTMENTS INC.
40 ANGUIDO COURT
HILLSBOROUGH, CA 94010
c/o DC MACDONALD
(925) 383-5525

Site Address: CORNER OF LEMON HILL AVE & REALI WY,
SACRAMENTO, CA

Submitted by: ROSE'S ENGINEERING
3050 FITE CIRCLE, SUITE 206
SACRAMENTO, CA 95827
(916) 368-9100

Parcel Description: 2.92 Gross Acre at the SE corner of Lemon Hill Ave and Reali Way.

Source of Topo: *Field Survey*

Contour Interval: 1 Foot

Existing Sizes: 2.92 Gross Acres

Existing Zoning: R1

Proposed Zoning:

Proposed Use: *Single Family Dwellings*

Existing Improvements: Single Family Dwelling

F.E.M.A. Zone X

Roads: *City of Sacramento*

Roads:	<i>City of Sacramento</i>
Water:	<i>City of Sacramento</i>

Water: City of Sacramento
Sewage: City of Sacramento

Sewage: City of Sacramento
Drainage: City of Sacramento

Gas: Pacific Gas & Electric (800) 468-4743
5555 Florin-Perkins Rd, Sacramento, CA 95826

Electric: S.M.U.D. (916) 732-7075
1701 59th St, Sacramento, CA 95817

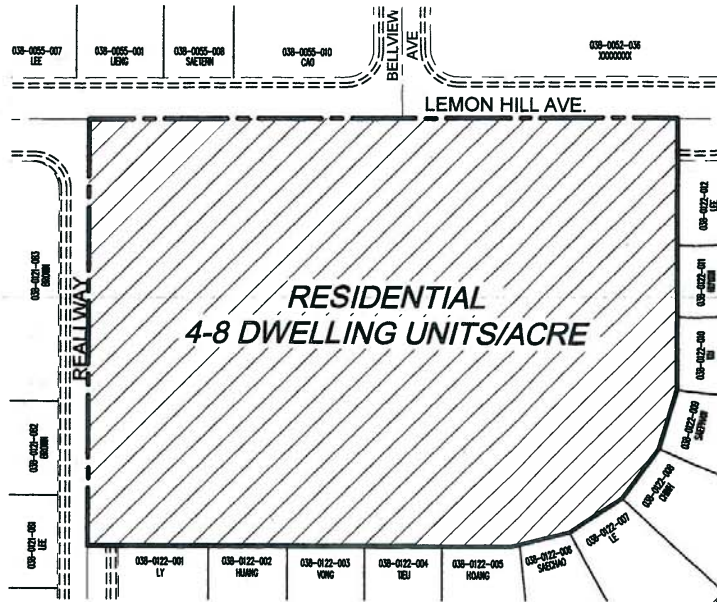
Telephone: Pacific Bell (916) 453-7048
3875 T St. Sacramento, CA 95816

Fire: Sacramento City Fire Department (916) 433-1300
5770 Freeport Bl, Suite 200, Sacramento, CA 95822

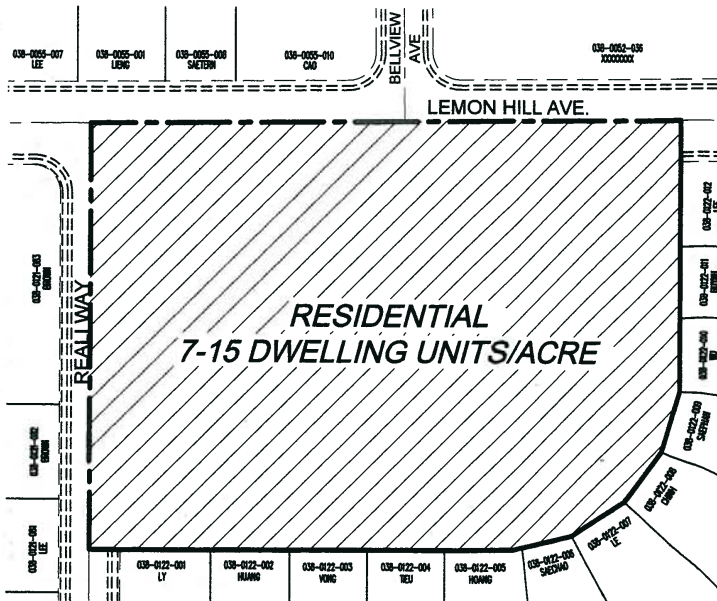
School: Sacramento City Unified School Dist. (916) 643-7400
5735 47th Ave, Sacramento, CA 95824

VICINITY MAP
NO SCALE

EXISTING PLAN DESIGNATION



PROPOSED PLAN DESIGNATION



COMMUNITY PLAN AMMENDMENT EXHIBIT

LEMON BELL 2

A.P.N. 038-0122-013,014,017,018

Date: NOVEMBER 2007

Scale: 1"=60'

Owner: MHL INVESTMENTS INC.
40 ANGUIDO COURT
HILLSBOROUGH, CA 94010
c/o DC MACDONALD
(925) 383-5525

Site Address: CORNER OF LEMON HILL AVE & REALI WY,
SACRAMENTO, CA

Submitted by: ROSE'S ENGINEERING
9152 ELK GROVE BLVD.
ELK GROVE CA. 95624
(916) 686-5445

Parcel Description: 2.92 Gross Acre at the SE corner of Lemon Hill Ave
and Reali Way.

Source of Topo: Field Survey

Contour Interval: 1 Foot

Existing Sizes: 2.92 Gross Acres

Existing Zoning: R1

Proposed Zoning: R1A

Proposed Use: Single Family Dwellings

Existing Improvements: Single Family Dwelling

F.E.M.A. Zone X

Roads: City of Sacramento

Water: City of Sacramento

Sewage: City of Sacramento

Drainage: City of Sacramento

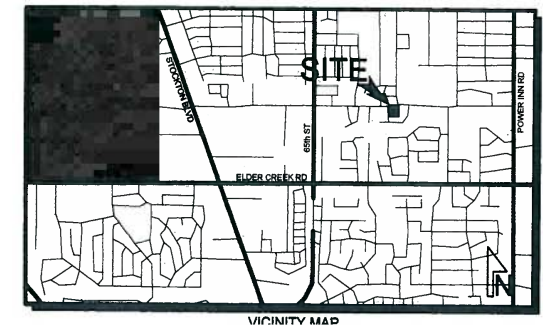
Gas: Pacific Gas & Electric (800) 468-4743
5555 Florin-Parkline Rd, Sacramento, CA 95826

Electric: S.M.U.D. (916) 732-7075
1701 59th St, Sacramento, CA 95817

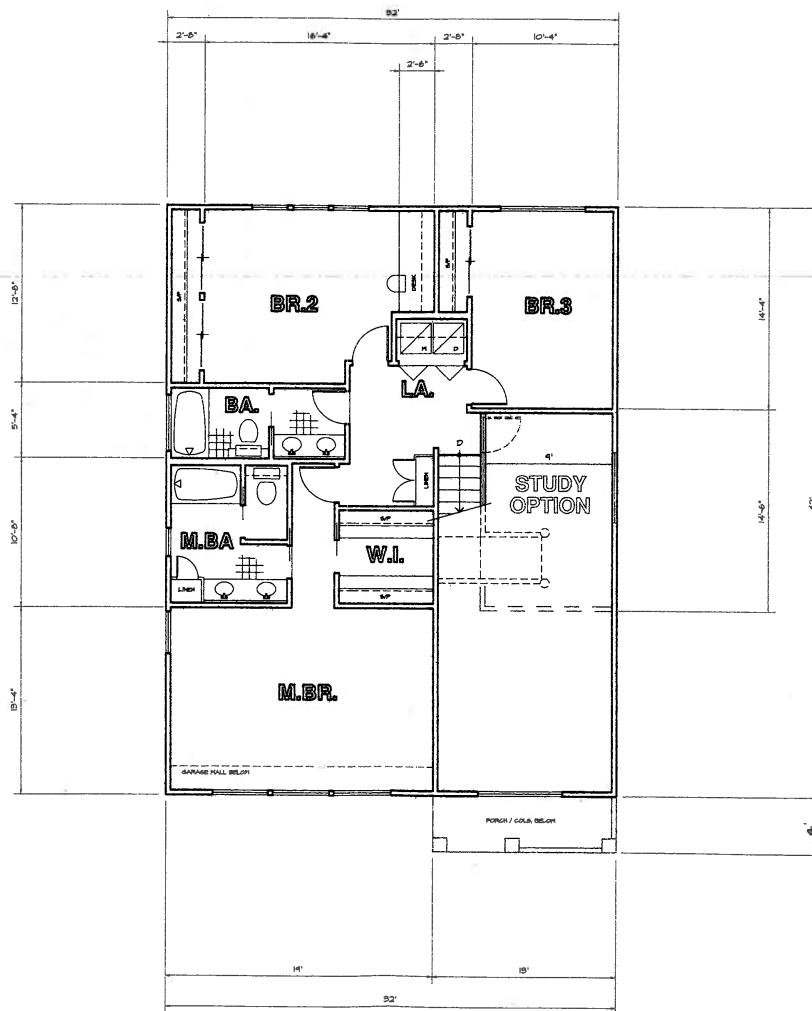
Telephone: Pacific Bell (916) 453-7048
3875 T St, Sacramento, CA 95816

Fire: Sacramento City Fire Department (916) 433-1300
5770 Freeport Bl. Suite 200, Sacramento, CA 95822

School: Sacramento City Unified School Dist. (916) 643-7400
5735 47th Ave, Sacramento, CA 95824



VICINITY MAP



FLOOR PLAN @ 2ND.
 32' FT. • 2ND, 001
 32' FT. • 2ND, W. STUDY OPTION, 044

MODIFICATIONS	
CALIFORNIA-WESTERN GROUP 2100 NORTHERN AVENUE • SUITE 100 SACRAMENTO, CALIFORNIA 95833 (916) 923-0447	
PROJECT	MODEL 1895
DATE	JAN. 2004
CHECKED / APPROVED	
SCALE	1/4" = 1'-0"
DRAWN	RB
SHEET	2
FILE	HRL-048



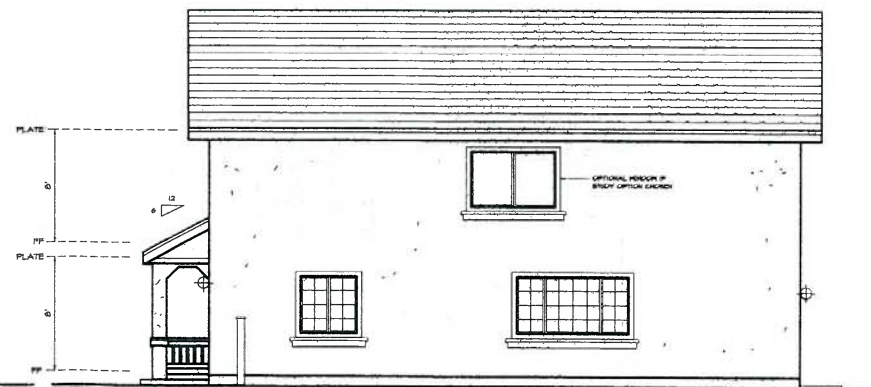
B EXTERIOR ELEVATION



A EXTERIOR ELEVATION

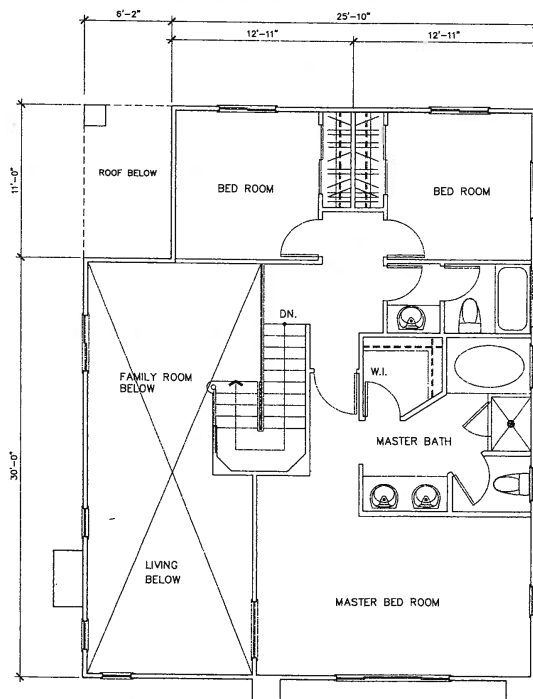


D EXTERIOR ELEVATION



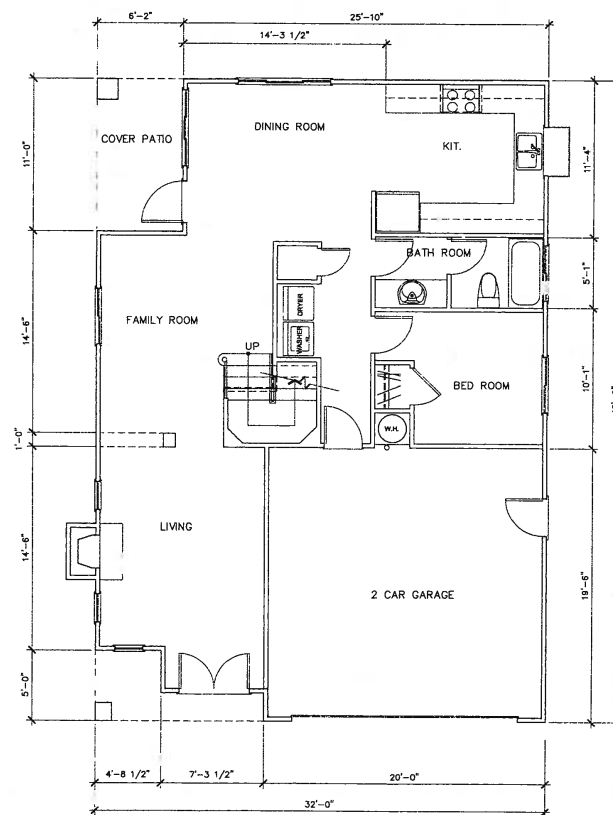
C EXTERIOR ELEVATION

MODIFICATIONS	
CALIFORNIA-WESTERN GROUP	
2100 NORTHBROOK AVENUE • SUITE 800 SACRAMENTO, CALIFORNIA • 95835 (916) 923-6447	
PROJECT	MODEL 1895
DATE	JAN. 2004
CHECKED / APPROVED	
SCALE	1/4" = 1'-0"
DRAWN	RB
SHEET	3-B
FILE	1895-185



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- GENERAL NOTES:
1. USE 2X6 STUDS @ 16" OC AT WALLS BEHIND PLUMBING FIXTURE(S).
 2. INSTALL SOUND BATT INSULATION AT WALLS AROUND ANY TOILET ROOMS UNLESS NOTED OTHERWISE.
 3. ALL PLUMBING PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE METALLIC AND SEALED SO THAT HOT GASES CANNOT PASS THROUGH PER 2001 CBC 709.6 AND 710.2.
 4. PROVIDE FIRE BLOCKING AT 10-FOOT INTERVALS IN CONCEALED SPACES BOTH HORIZONTALLY AND VERTICALLY PER 2001 CBC 708.2.1.1. FOR EXAMPLE, PROVIDE 2X FIRE BLOCKING IN STUD BAYS OVER 10' HIGH.
 5. SHOWERS SHALL BE FINISHED WITH A SMOOTH, HARD NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET PER CBC 807.1.3.
 6. WHEN GYPSUM BOARD IS USED AS A BASE FOR TILE OR WALL PANELS AT SHOWERS, WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED PER CBC 2512. WATER-RESISTANT BACKING BOARD SHALL NOT BE USED ON CEILING FRAMING SPACED MORE THAN 12 INCHES ON CENTER PER CBC 2512 (3).
 7. TREADS SHALL HAVE A RUN AT LEAST 9 INCHES AND RISERS SHALL HAVE MAXIMUM RISE OF 8 INCHES PER 2001 CBC 1003.3.3.3 EXCEPTION 1.
 8. HANDRAILS SHALL BE CONTINUOUS FOR THE LENGTH OF THE STAIR PER FLOOR PLAN.
 9. USE BULLNOSE (ROUND) CORNER BEADS AT INTERIOR WALL CORNERS UNLESS NOTED OTHERWISE.



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



Cheong & Associates

5171 Martola Drive
El Dorado Hills, CA 95762
phone. 916.501.1964
fax. 916.939.0455



**LEMON BELL 2
MODEL PLAN "A"**

ADDRESS
Sacramento, CA

Owner: MD Parnters, Inc.

Not for Construction

SHEET TITLE

FLOOR PLAN

Drawn: MM WC
Scale: AS NOTED
Date: 5-26-06
Project No:

Sheet No.

A11



2 FRONT ELEVATION - OPTION #2
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION - OPTION #1
SCALE: 1/4" = 1'-0"



Cheong & Associates

5171 Mertola Drive
El Dorado Hills, CA 95762
phone. 916.501.1964
fax. 916.839.0455



**LEMON BELL 2
MODEL PLAN "A"**

ADDRESS
Sacramento, CA

Owner: MD Parnters, Inc.

Not for Construction

SHEET TITLE

**EXTERIOR
ELEVATIONS**

Drawn
MM WC
Scale
AS NOTED
Date
5-26-06
Project No.

Sheet No.

A21



Cheong & Associates

5171 Mertoia Drive
El Dorado Hills, CA 95762
phone. 916.501.1984
fax. 916.939.0455

Notes: drawings are based on field data and have been prepared for informational purposes only. Construction of any building shall be in accordance with the applicable building code and all other applicable laws and regulations.



**LEMON BELL 2
MODEL PLAN "A"**

ADDRESS
Sacramento, CA

Owner: MD Parnters, Inc.

Not for Construction

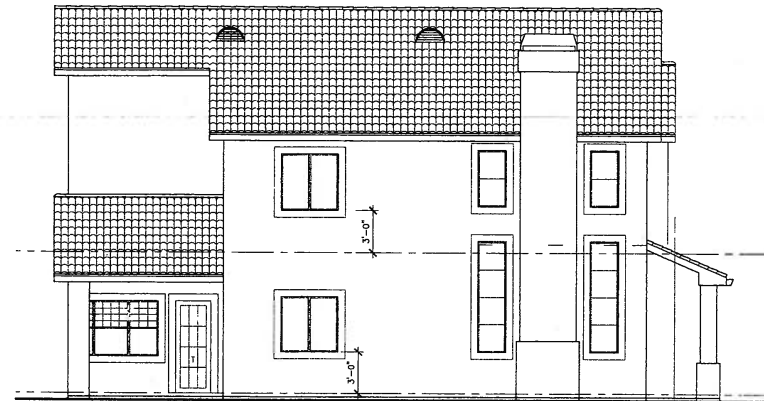
SHEET TITLE

**EXTERIOR
ELEVATIONS**

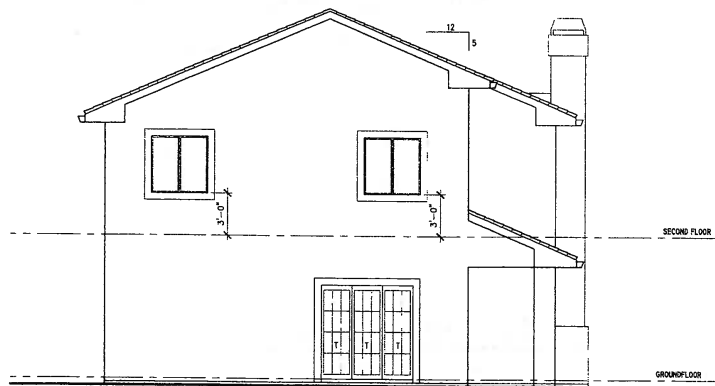
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MM WC
Scale
AS NOTED
Date
5-28-06
Project No.

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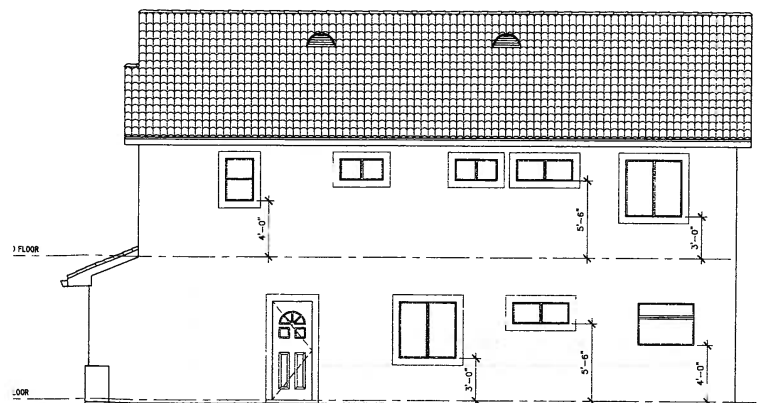
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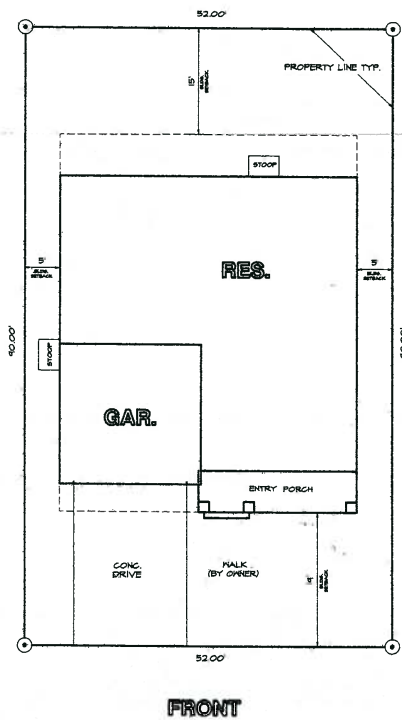
3 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



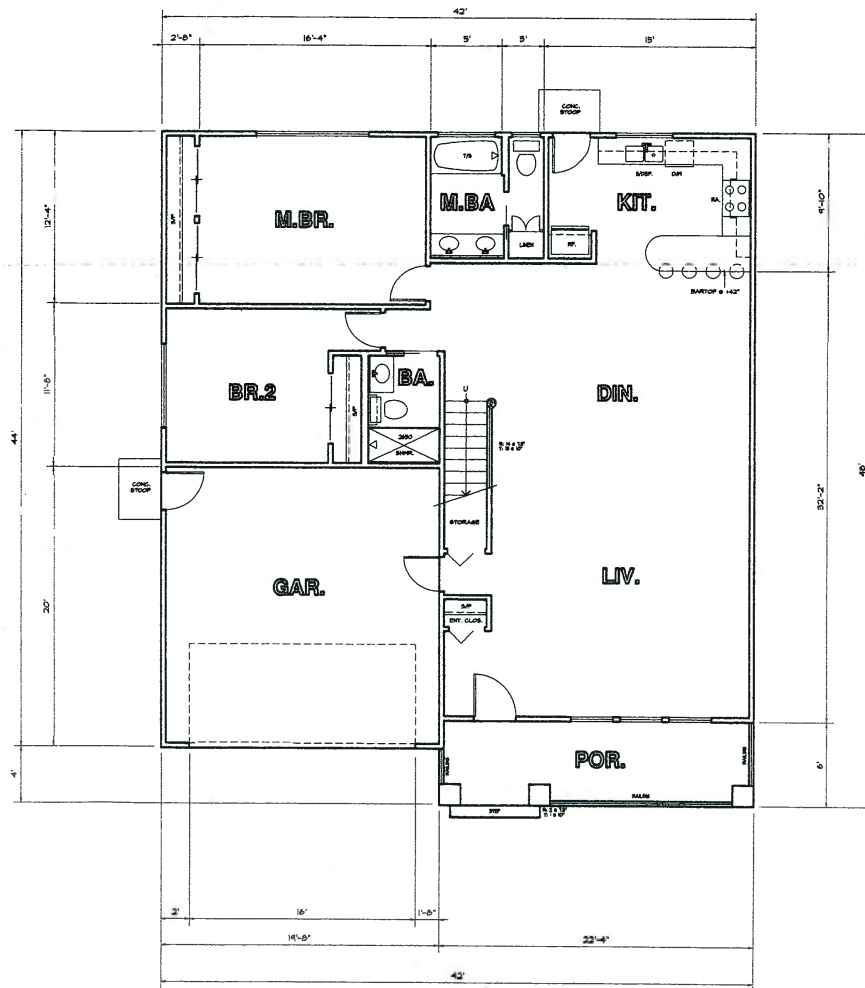
2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



LOT W/ BLDG. FOOTPRINT



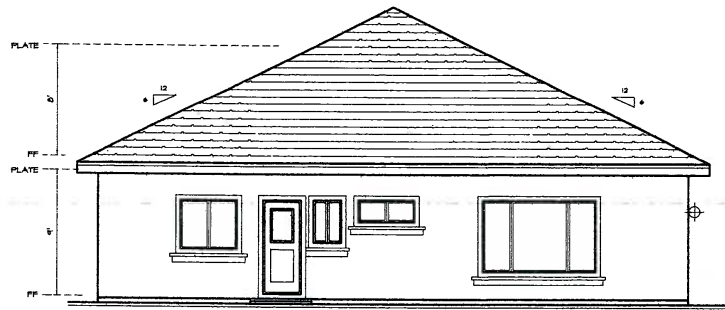
FLOOR PLAN @ 1ST.

SG. FT. @ 1ST. : 1410
 SG. FT. @ LOFT : 524
 TOTAL LIVING SG. FT. : 1734

MODIFICATIONS	
CALIFORNIA-WESTERN GROUP	
510 MARKET AVENUE - SUITE 400 SACRAMENTO, CALIFORNIA 95811 (916) 923-6447	
PROJECT	MODEL 1739
DATE	JAN. 2004
CHECKED / APPROVED	
SCALE	1/4" = 1'-0"
DRAWN	RB
SHEET	1
FILE	M4L-1734

SQ. FT. • LOFT 524

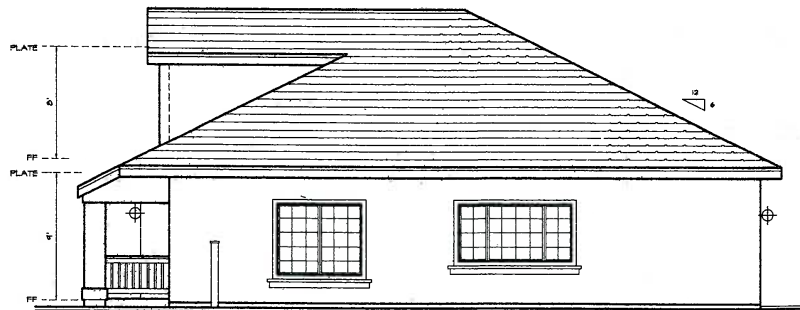
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DATE JAN. 2009					
CHECKED / APPROVED					
SCALE 1/4" = 1'-0"					
DRAWN RB					
SHEET 2		CALIFORNIA-WESTERN GROUP			
FILE: MFL-1739		SACRAMENTO OFFICE • SUITE 400 SACRAMENTO, CALIFORNIA • 95806 (916) 923-6447			



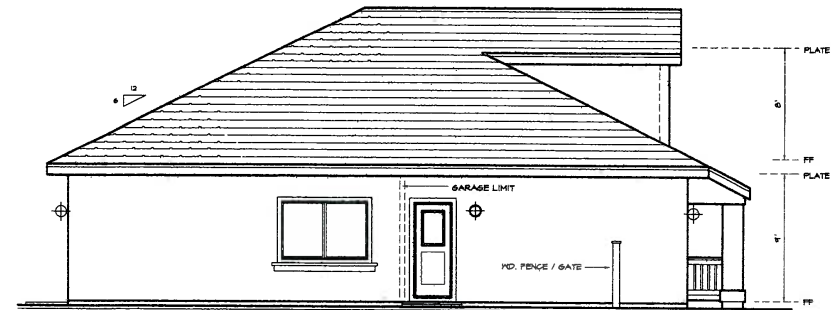
B EXTERIOR ELEVATION



A EXTERIOR ELEVATION



D EXTERIOR ELEVATION



C EXTERIOR ELEVATION

DRAWING MODEL 1739 F1 JAN 25 04 39 2009

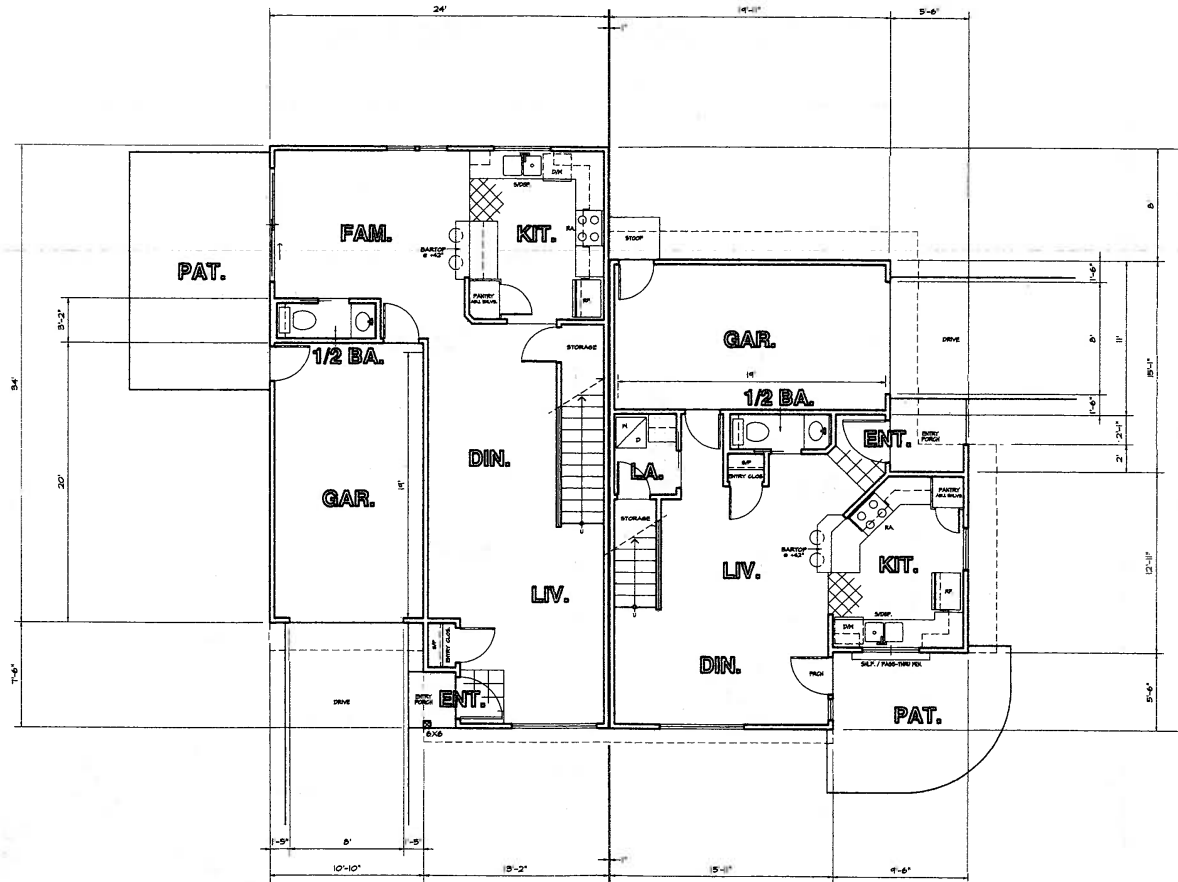
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CALIFORNIA-WESTERN GROUP 2100 NORTHROP AVENUE • SUITE 100 SACRAMENTO, CALIFORNIA • 95828 (916) 923-5447	PROJECT MODEL 1739
DATE JAN. 2009	
CHECKED / APPROVED.	
SCALE 1/4" = 1'-0"	
DRAWN RD	
SHEET	
3	
FILE: HCL-1739	

PROPOSED ZONING: R-1-A
LOT AREA: 4368 SQ. FT.
BLDG. FOOTPRINT AREA: 1625 SQ. FT.

UNIT #1 LIVING AREA:
FIRST FLOOR: 684
SECOND FLOOR: 408
● TOTAL: 1547 SQ. FT.
GARAGE: 217

UNIT #2 LIVING AREA:
FIRST FLOOR: 504
SECOND FLOOR: 817
● TOTAL: 1321 SQ. FT.
GARAGE: 212

[illegible]



A FLOOR PLAN @ FIRST
UNIT 1 SQUARE FT. @ 1ST. = 604

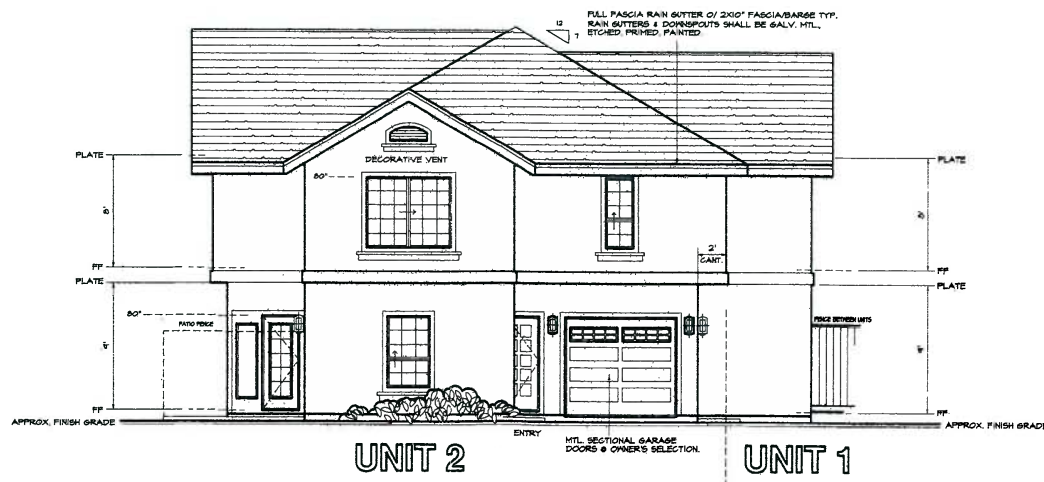
B FLOOR PLAN @ FIRST
UNIT 2 SQUARE FT. @ 1ST. = 504

MODIFICATIONS	
CALIFORNIA-WESTERN GROUP	
1400 RIVER PARK DRIVE • SUITE 107 SACRAMENTO, CALIFORNIA • 95815 (916) 923-6447	
MHL 1/2 PLEX	
PROJECT	
DATE	JAN. 2009
CHECKED / APPROVED	
SCALE	1/4" = 1'-0"
DRAWN	MB
SHEET	
2	
P.L.S. M.L.U./C.P.	
OFFICE SACRAMENTO 0803	



UNIT 1 UNIT 2

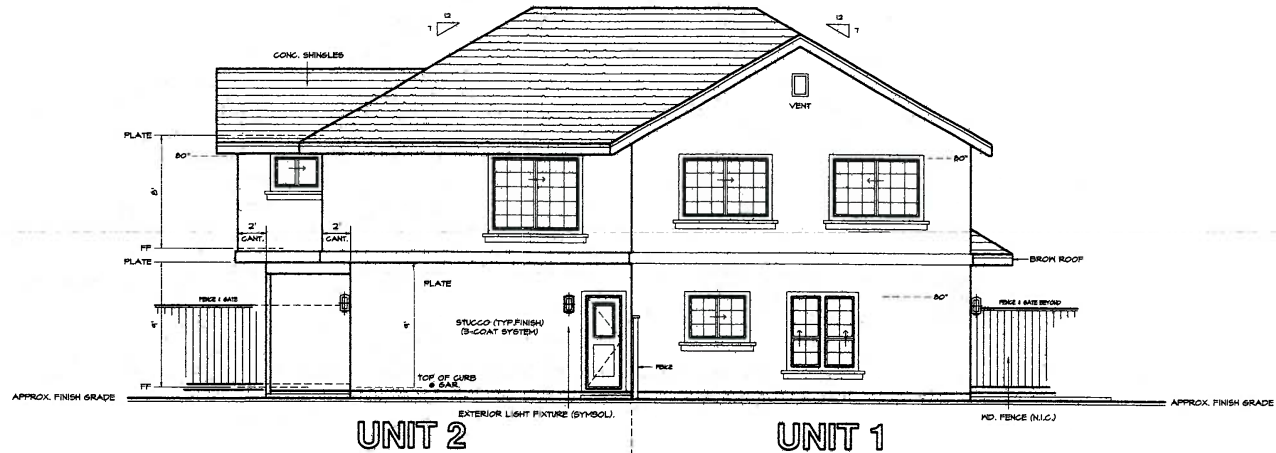
STREET ELEVATION (WIDE VIEW)



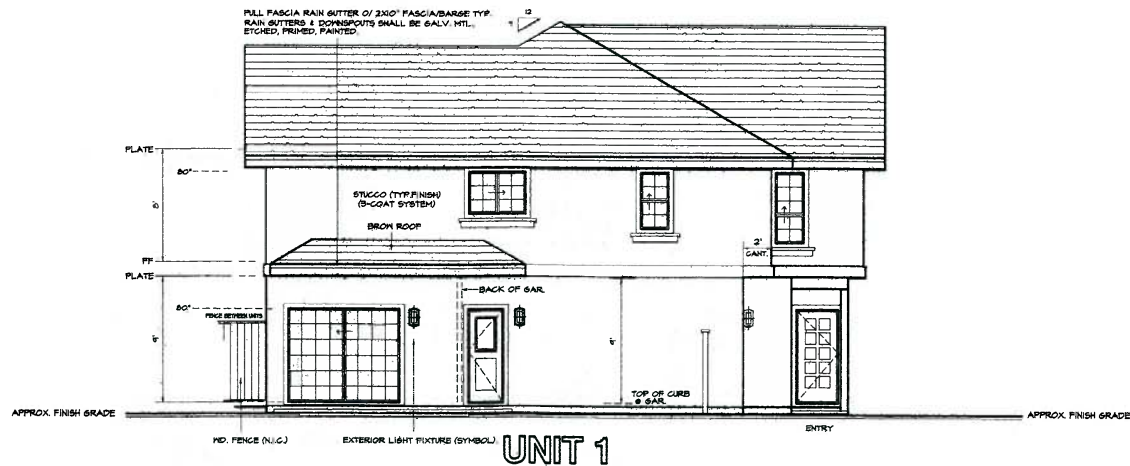
UNIT 2 ENTRY UNIT 1

STREET ELEVATION (NARROW VIEW)

MODIFICATIONS
CALIFORNIA-WESTERN GROUP
1440 RIVER PARK DRIVE • SUITE 107 SACRAMENTO, CALIFORNIA • 95815 (916) 923-6447
PROJECT
DATE JAN. 2008
CHECKED / APPROVED
SCALE 1/4" = 1'-0"
DRAWN RS
SHEET 4
FILE: MHL/07 OFFICE: SACRAMENTO 1988



UNIT 2 UNIT 1
SIDE ELEVATION (WIDE VIEW)



UNIT 1
SIDE ELEVATION (NARROW VIEW)

MODIFICATIONS

CALIFORNIA-WESTERN
GROUP

1840 RIVER PARK DRIVE • SUITE 107
SACRAMENTO, CALIFORNIA • 95815
(916) 923-6447

MHL 1/2 PLEX

PROJECT

DATE

JAN. 2009

CHECKED / APPROVED

SCALE 1/4" = 1'-0"

DRAWN RS

SHEET

5

FILE NO. / OF

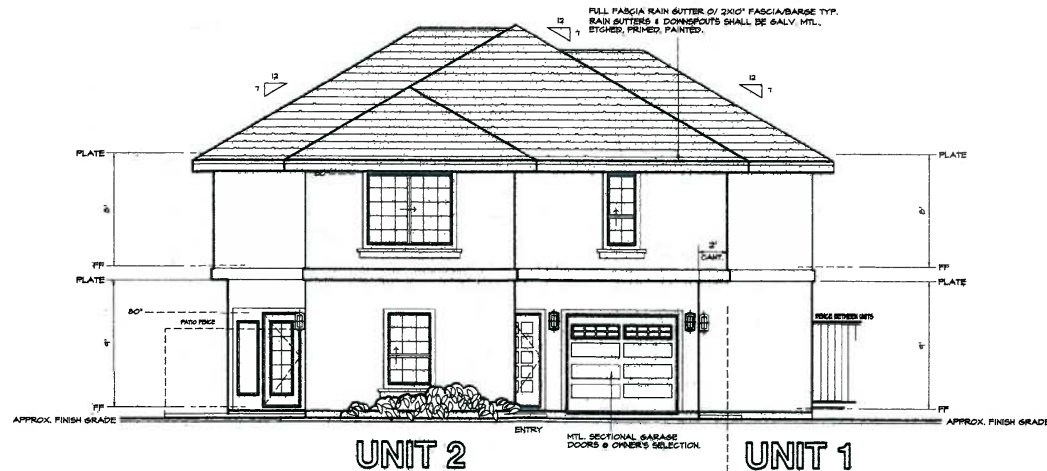
OFFICE SACRAMENTO 0002



UNIT 1

UNIT 2

STREET ELEVATION (WIDE VIEW)



UNIT 2

UNIT 1

STREET ELEVATION (NARROW VIEW)

MODIFICATIONS

CALIFORNIA-WESTERN
GROUP

1500 AVENUE 100, SUITE 101
SACRAMENTO, CALIFORNIA 95811
(916) 923-6447

MHL 1/2 PLEX

PROJECT

DATE

JAN. 2009

CHECKED / APPROVED

SCALE

1/4" = 1'-0"

DRAWN

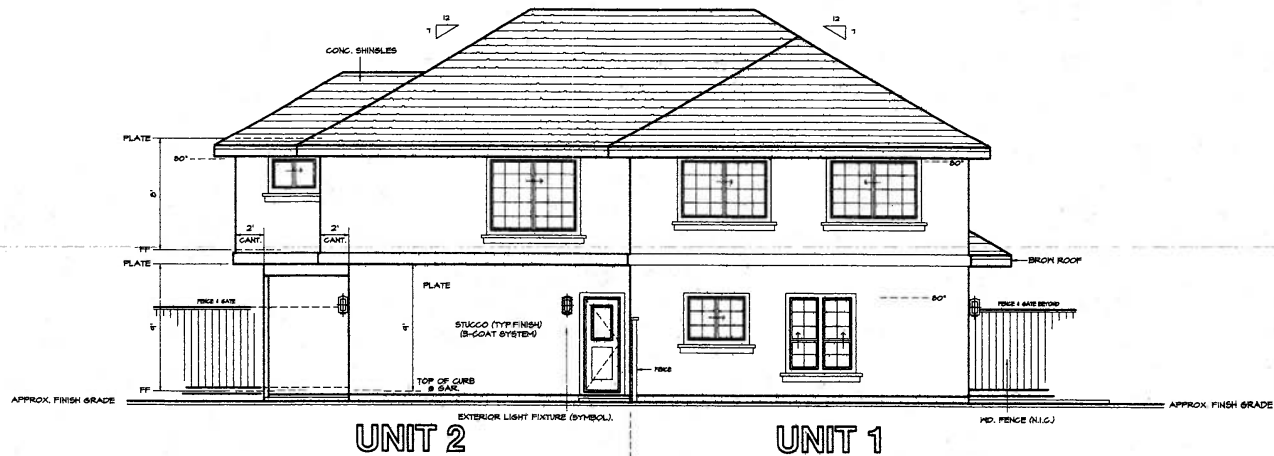
RD

SHEET

4-A

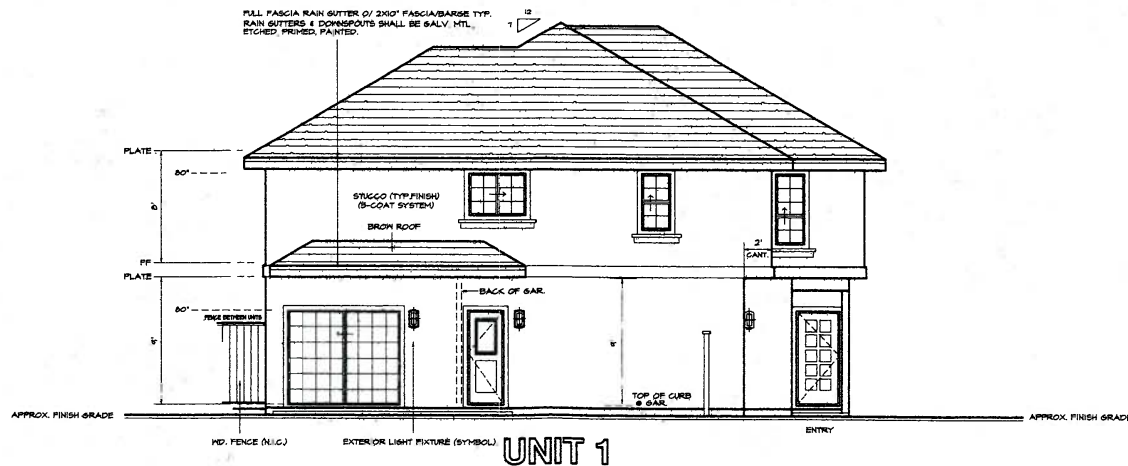
FILED IN/OF

OFFICE SACRAMENTO 2009



UNIT 2 UNIT 1

SIDE ELEVATION (WIDE VIEW)



UNIT 1

SIDE ELEVATION (NARROW VIEW)

MODIFICATIONS

CALIFORNIA-WESTERN
GROUP

1440 BYRON PARK DRIVE • SUITE 107
SACRAMENTO, CALIFORNIA • 95815
(916) 923-6447

MHL 1/2 PLEX

PROJECT

DATE

JAN. 2009

CHECKED / APPROVED

SCALE

1/4" = 1'-0"

DRAWN

RD

SHEET

5-A

FILE MHL 1/2

OFFICE SACRAMENTO 10013

MODEL CHEUNG 1966 A1



RESAWN SHAKE



PAINTED DESERT

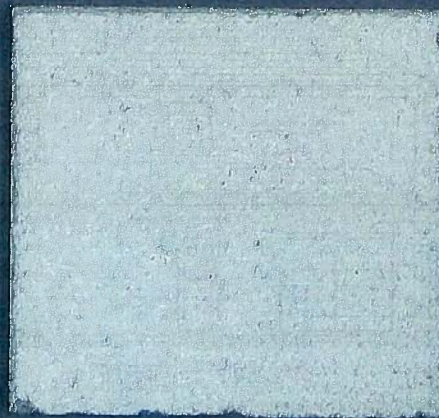


Resawn Shake
BIRCHWOOD

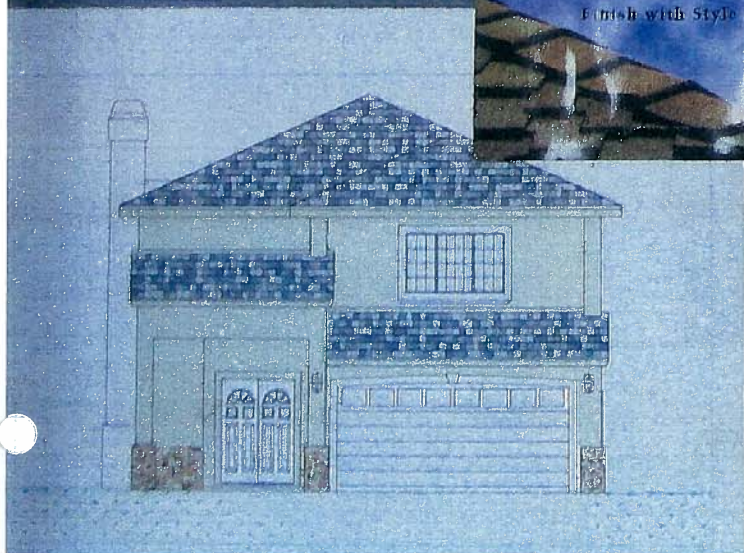
MOUNTAIN RIDGE
Finish with Style

*Light and dark colors blend
for a very natural look.*

SENSATIONAL SAND



MILKY QUARTZ



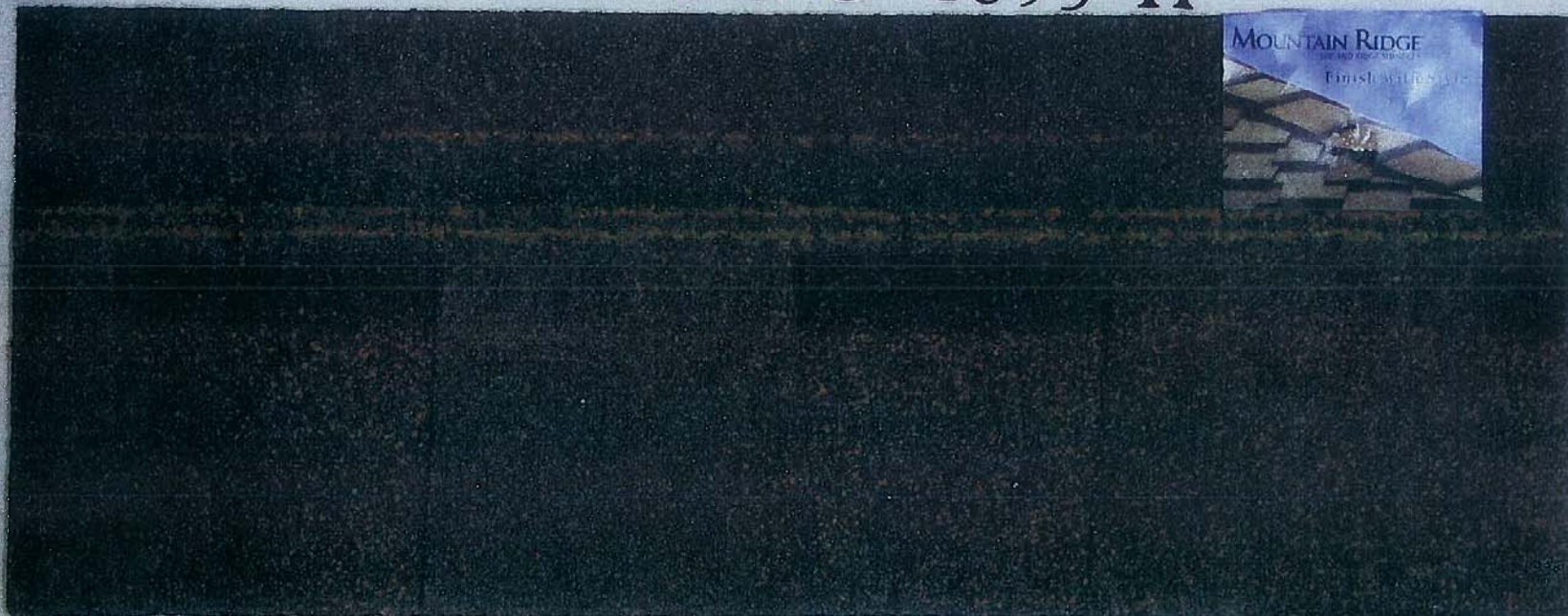
MODEL CWG 1895-H



SUNRISE CEDAR



REBAWN SHAKE



Featured Color
HEATHER BLEND

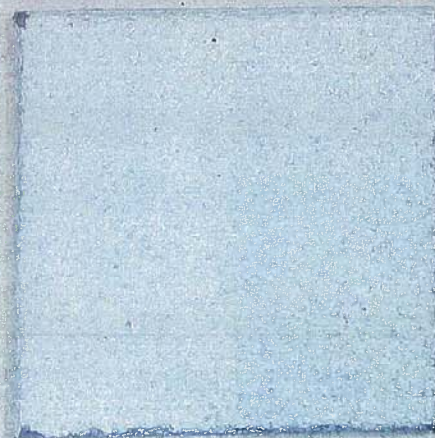


Light and dark colors blend
for a very natural look.



HARVEST GOLD

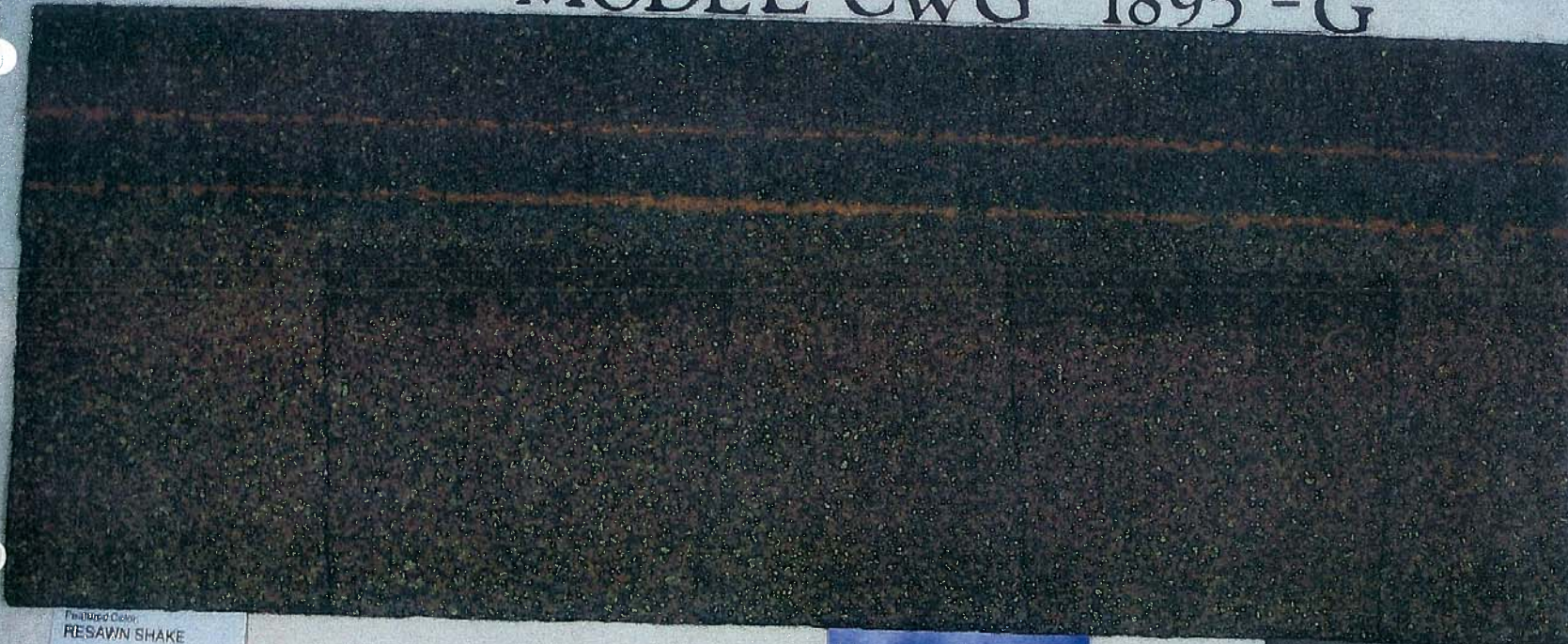
MILKY QUARTZ



EL DORADO STONE COGNAC



MODEL CWG 1895 - G



Featured Color:
RESAWN SHAKE

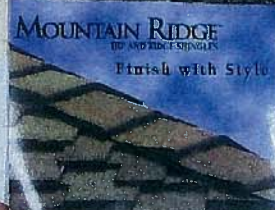


HEATHER BLEND



BIRCHWOOD

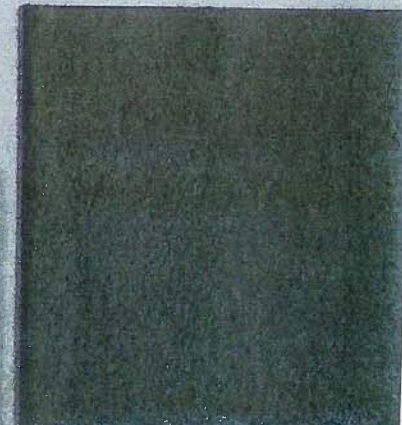
*Light and dark colors blend
for a very natural look.*



MOUNTAIN RIDGE

Finish with Style

SENSATIONAL SAND



TOFFEE CRUNCH



EL DORADO BRICK CANTERBURY



