

Approved with Staff Conditions
DESIGN REVIEW & PRESERVATION BOARD

927 - 10th Street, Suite 300 -SACRAMENTO, CALIFORNIA 95814

APPLICANT	R. Daniel Hood, 1029 F Street, Sacramento 95814				
OWNER	Mark and Linda Giannini, 2765 Marshall Way, Sacramento 95818				
PLANS BY	R. Daniel Hood, 1029 F Street, Sacramento 95814				
FILING DATE	1-9-85	50 DAY CPC ACTION DATE		REPORT BY	RL:jl
NEGATIVE DEC		EIR		ASSESSOR'S PCL NO.	002-112-11

LOCATION: 508 10th Street

PROPOSAL: The applicant proposes to rehabilitate, expand and convert a burned out single family residence into 4 apartment units. The Structure is a Priority Structure on the City's Official Register.

PROJECT INFORMATION:

Existing Zoning of Site:	R-3A
Existing Land Use of Site:	Burned out single family Victorian
Surround Land Use and Zoning:	

North: Multiple family; R-3A
South: Two family; R-3A
East: Multiple family; R-3A
West: Multiple family; R-3A

Parking Required:	4
Parking Proposed:	5
Property Dimensions:	44.87' x 160'
Property Area:	7180+ sq. ft.
Square Footage of Building:	4082 sq. ft.
Significant Features of Site:	Priority Structure, existing vehicle access across adjacent parcel
Exterior Building Colors:	Beige, burgandy, brown
Exterior Building Materials:	Wood siding, asphalt shingles

BACKGROUND INFORMATION: On January 18, 1985, the applicant was advised that the existing side yard setback along the north side of the structure is inadequate in width to serve as access to the rear units. On March 14, 1985, the Commission approved a variance to reduce the side court yard from 10 feet to 8 feet.

A complication exists in that the applicant's presumed right of vehicle access across the abutting property to the alley is now in question. Therefore, unless such access can be assured by agreement with the adjacent property owner or be determined to exist as a prescriptive easement, on-site access to 10th Street will be required. The variance approval is conditioned to require approved access.

The structure had been fire damaged at the rear. Rehabilitation will include conversion from single family to 4 residential units with additional floor space in the rear.

The Italianate structure was modified at the turn of the century with front stairs and porch alterations that are more Craftman in design. At some time in the past, the north side of the structure had been further closed in. This work had covered over the existing porch and its Italianate detailing.

PROJECT EVALUATION: Staff has the following comments and concerns regarding the proposed project:

1. Although the front stair and porch are incompatible in design with the basic architecture of the structure, they are part of its historic fabric. Therefore, there is no justification to require restoration to their original appearance. Should the applicant wish to replace the front porch and stairway, however, the design should be subject to staff review and approval.
2. Secondary railing will be necessary on front and side porches for compliance with building code requirements. The designs should be subject to staff review and approval.
3. A vent chimney is proposed to be removed from a valley location between two roof surfaces. Due to its poor location, water damage and dry rot had resulted in the past.
4. The proposed rehabilitation work and addition at the rear will be compatible with the existing structure.
5. Existing landscaping needs renovation. Selective pruning of trees and shrubs will be necessary.
6. Should cross access to the alley not be possible, a driveway to 10th Street would be required with a 24 foot width for two way vehicle movement. In that only a ten foot clearance exists, the applicant would need the City Council's approval to reduce that width requirement of the City Code. Otherwise, the applicant would need to obtain Commission approval for a reduction in the parking requirement or face being only able to convert from the existing single family to two rather than the four units proposed. A variance in the number of parking spaces was not an option recommended by staff.
7. Should a new driveway be provided to 10th Street, the location of landscaping will be of particular importance in mitigating the visual impact of the driveway on the subject structure as well as the Victorian under rehabilitation next door to the south.

STAFF RECOMMENDATION: Staff recommends that the Board approve the proposed project subject to the following conditions:

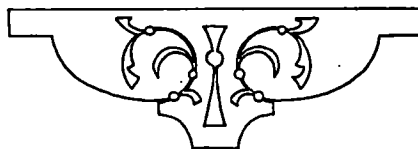
1. Changes to existing stairs, porches and porch railings shall be subject to the review and approval of staff.
2. Secondary railings, when necessary for compliance with building code height requirements, shall be subject to review and approval by staff.
3. A detailed landscape and irrigation plan shall be submitted for review and approval by staff. Should a new driveway to 10th Street be needed, particular attention to landscaping in its proximity shall be given.
4. Existing trees and shrubs shall be selectively pruned by qualified personnel.

Approved is based on the following Findings of Fact:

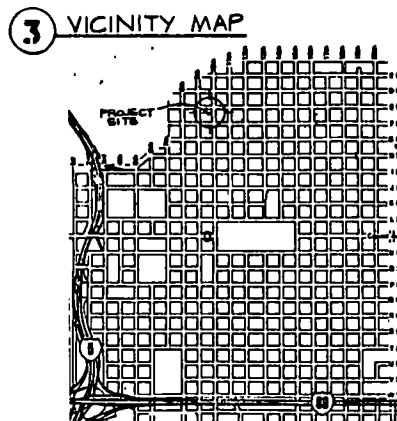
1. The project, as conditioned, will be in compliance with the Department of Interior's Standards for Rehabilitation.
2. The project, as conditioned, will blend into the surrounding area.

APPROVAL BY THE DESIGN REVIEW/PRESERVATION BOARD DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITIES TO MEET REQUIREMENTS OF ALL ZONING ORDINANCES AND BUILDING CODES.














ITEM










3 VICINITY MAP

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SYMBOLS

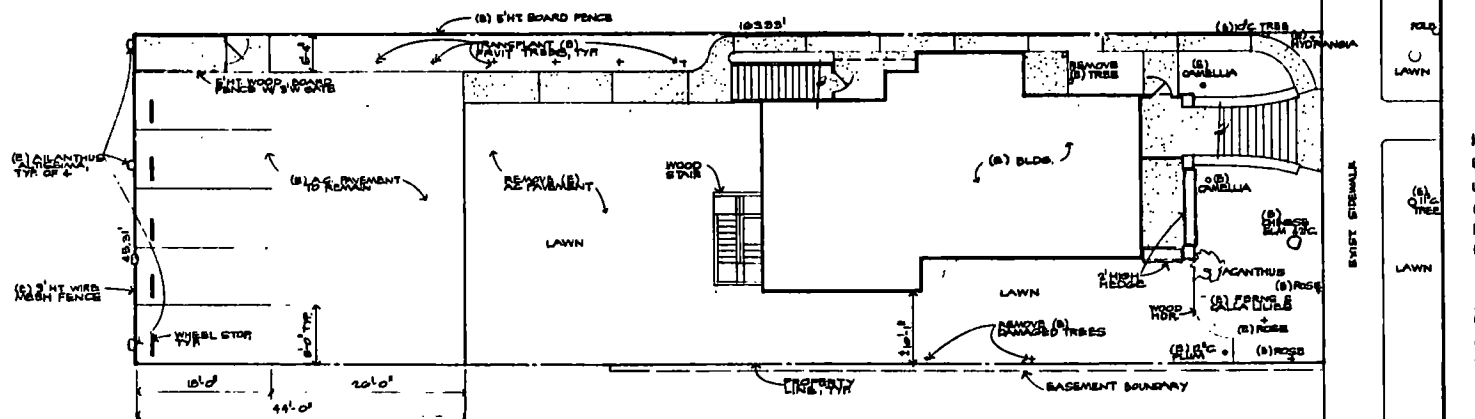
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 SECTION REF. NO.
 SHEET NO.
 ELEVATION REF. NO.
 SHEET NO.
 DETAIL REF. NO.
 SHEET NO.
 DOOR I.D. NO. | SEE SHT
 DOOR TYPE | A-4
 WINDOW I.D. NO. | SEE SHT
 WINDOW TYPE | A-4
 ROOM NO. | ROOM NAME
 ROOM NO. | ROOM NO.

LEGEND

-  EXISTING WALL OR PTN.
 (R.E.) OR (R.E.) WALL OR PTN.
 WOOD (INTERRUPTED)-SECTION
 WOOD (CONTINUOUS)-SECTION
 WOOD (FINISH)-SECTION
 MASONRY - ELEVATION
 METAL - ELEVATION OR PLAN

6 SHEET INDEX

- T-1 SITE PLAN, VICINITY MAP, NOTES
- A 1 FIRST FLOOR PLAN
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- S 1 STANDARD STRUCTURAL DETAILS
- S 2 FRAMING PLANS
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- E 1 ELECTRICAL FLOOR PLANS & NOTES



① SITE PLAN

SITE PLAN, VICINITY MAP, NOTES

FANNIE GODDARD HOUSE
508 10th STREET

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Mark & Lynn Garrison, Owners
2785 Marshall Way, Sacramento, CA 95834

R. Daniel Hood
PRESERVATION ARCHITECT
00724

REFERENCE



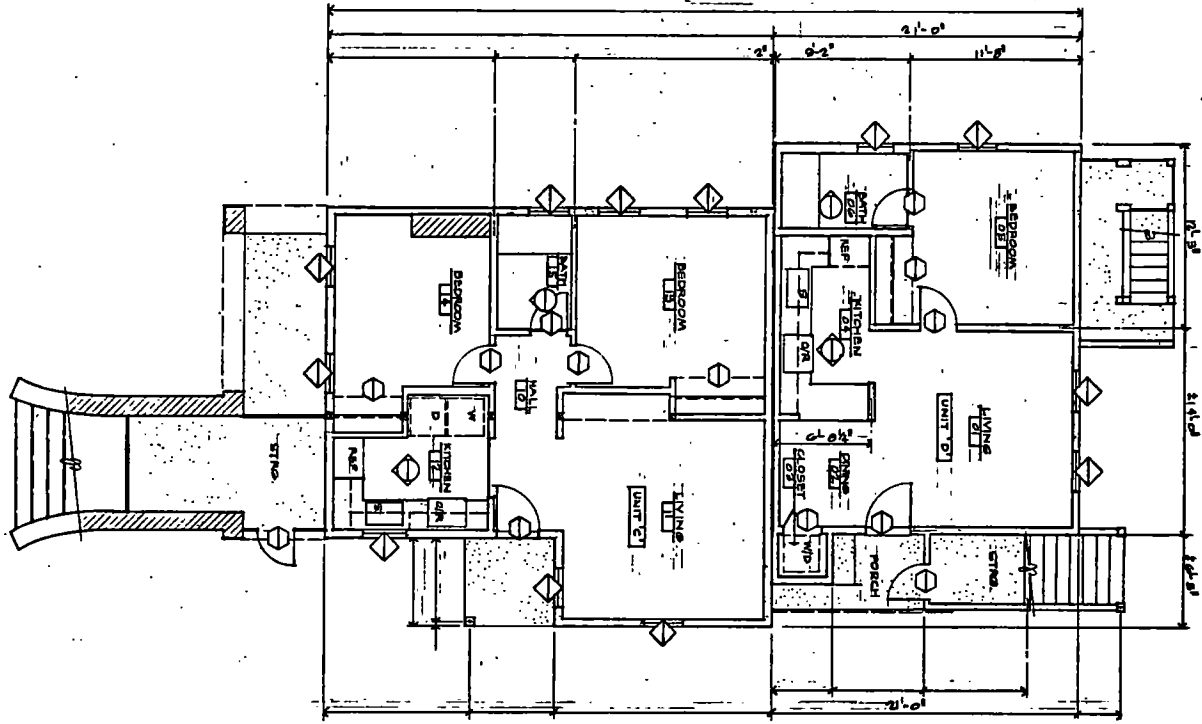
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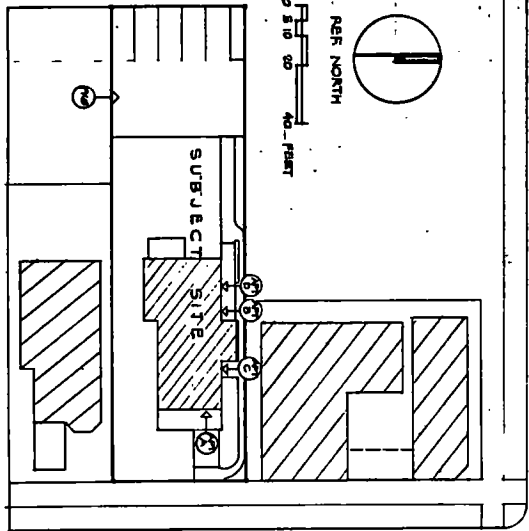
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1 FIRST FLOOR PLAN



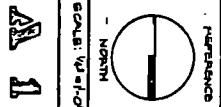
2 GENERAL NOTES

1. ITEMS NOTED ON THE DRAWINGS ARE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.
2. VERIFY ALL CONDITIONS, QUANTITIES AND DIMENSIONS IN THE FIELD. REPORT DISCREPANCIES AND DISCREPANCIES IN THE FIELD TO THE ARCHITECT IMMEDIATELY.
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FIRST FLOOR PLAN & MECHANICAL NOTES
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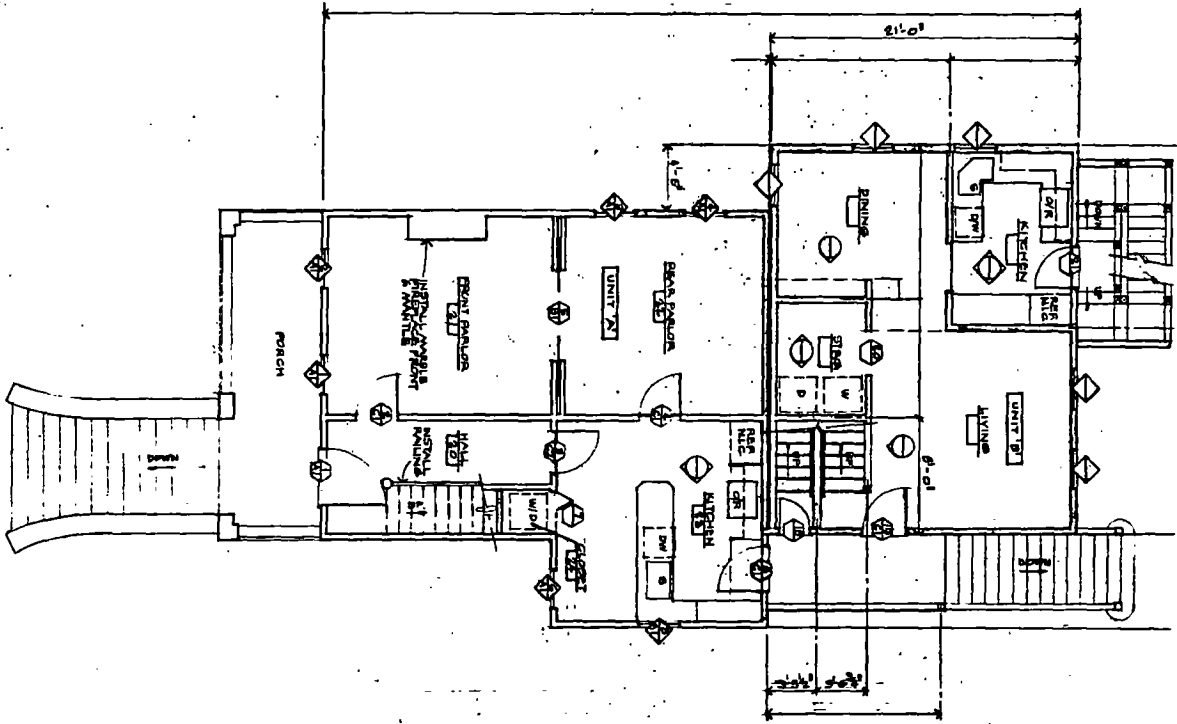
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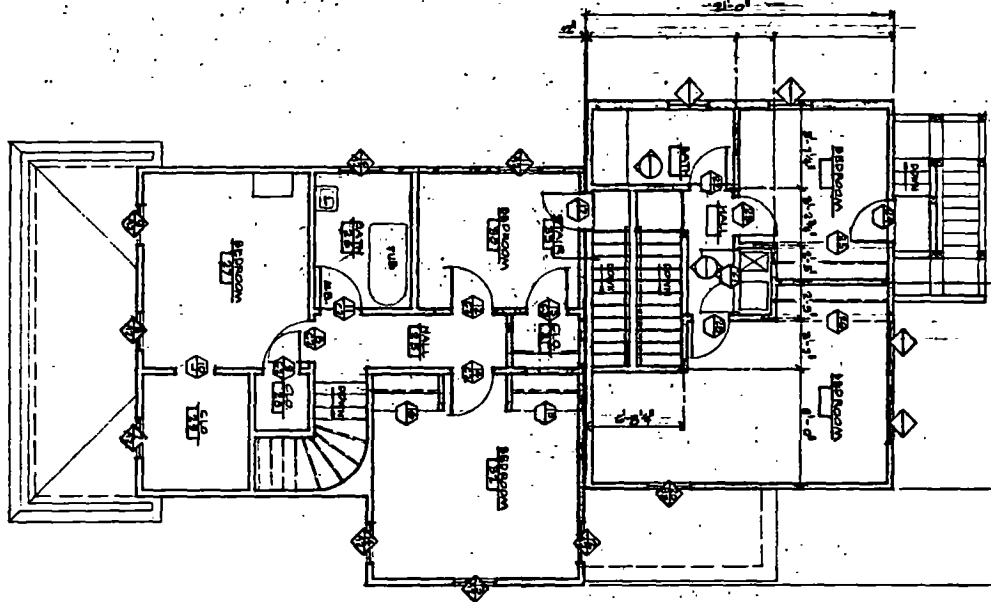
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1 SECOND FLOOR PLAN



2 THIRD FLOOR PLAN

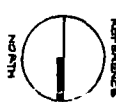


SECOND & THIRD FLOOR PLANS

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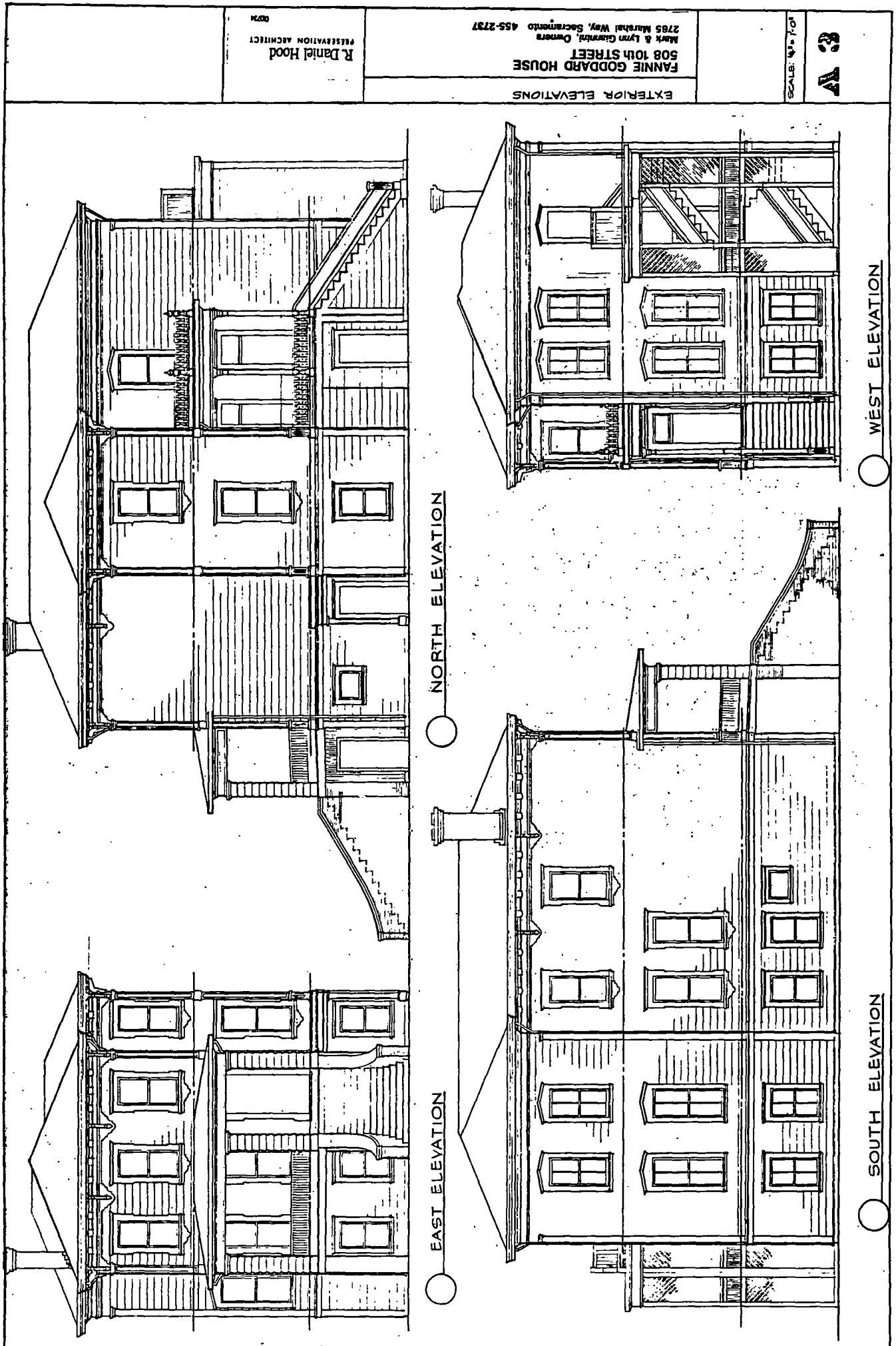
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EXTERIOR ELEVATIONS

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R. Daniel Hood
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SCALE: 1/4" = 1'-0"

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