

## CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	The Spink Corporation - P.O. Box 2511, Sacramento, CA 95811
OWNER	Home Savings and Loan - 3731 Wilshire Boulevard, Los Angeles, CA 90010
PLANS BY	The Spink Corporation - P.O. Box 2511, Sacramento, CA 95811
FILING DATE	4-4-86
ENVIR. DET.	Ex 15305a
REPORT BY	LP:sg
ASSESSOR'S-PCL. NO.	225-653-16.17; 225-655-36.37; 225-660-65.66; 225-670-75.76; 225-670-77,78; 225-670-71,72,73,74,81-86

APPLICATION: Lot Line Adjustment to merge 20 parcels into 10 corner lots

LOCATION: Various corner lots in Meadowood Unit 1

PROPOSAL: The applicant is requesting the necessary entitlement to convert halfplex lots into detached single family lots.

PROJECT INFORMATION:

1974 General Plan Designation: Residential  
 1986 South Natomas Community  
 Plan Designation: Low Density Residential  
 Existing Zoning of Site: R-1A  
 Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Vacant; R-1, R-1A  
 South: Vacant, single family; R-1, R-1A  
 East: Vacant, power line corridor; R-1  
 West: Vacant, single family; R-1, R-1A

Property Dimensions: Varies  
 Property Area: 1.6+ acres total  
 Density of Development: 7.8+ d.u. per acre  
 Topography: Flat  
 Street Improvements: Existing  
 Utilities: Existing

BACKGROUND: The subject sites are within the Meadowood PUD (P-8247, approved by the City Council 9-17-78). The 1977 South Natomas Community Plan encouraged a mix of housing types, and to insure compliance with this policy, the applicant originally designated 15 corner lots for duplexes and 17 corner lots for halfplexes (P-9396, approved by the City Council 7-7-81). The applicant subsequently increased the number of halfplex lots in the subdivision by 23 lots (46 halfplexes) due to the demand for halfplexes at that time (P82-122). The applicant then proposed to convert Unit 3 of the subdivision from 199 standard-sized lots to 299 "petite" lots; this was approved by Council on October 15, 1983 (P83-300).

Although This change eliminated the halfplexes, at the time staff felt the "petite" lot subdivision was in keeping with the policy encouraging a "departure from past typical subdivision setting of countless single family tract homes and an occasional cluster of apartments."

APPLC. NO. P86-139 MEETING DATE May 8, 1986 ITEM NO. 18

P87-416

002442

STAFF EVALUATION: Staff has the following comments:

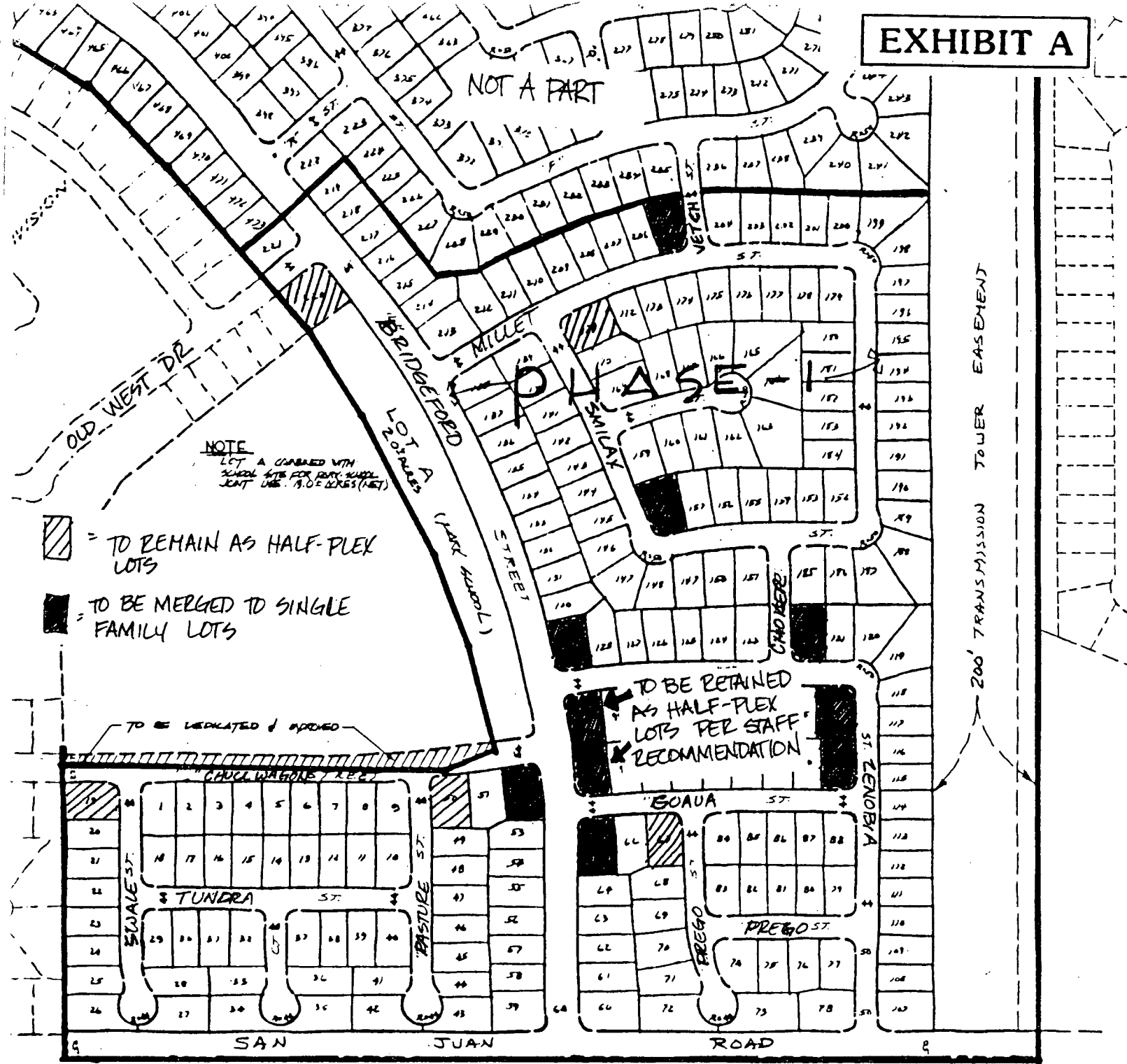
- A. Land Use: With the exception of eight houses originally constructed as model homes for the subdivision (P-8882) and three constructed halfplexes, the subdivision is vacant. Land uses surrounding the subdivision are the "petite" lot single family residences under construction to the north, single family residences to the south and west, and a power transmission corridor to the east.
- B. Proposal: The subdivision currently contains 15 lots which have been split for halfplex developments. Four of these lots (eight homes) have been constructed. The applicant is proposing to merge 10 of these lots (or 20 homesites) to construct 10 single family residences. This will leave one lot available for construction of a halfplex.

The applicant submitted building footprints of the proposed single family residences, all of which show the driveways from the minor streets. This will create a streetscape along Bridgeford Drive in which only side yard fences will be seen. Staff is therefore recommending the two abutting halfplex lots on Bridgeford Drive, between Guava and Zenobia Streets, remain as halfplex lots. This will leave three lots (six halfplexes) plus the existing eight halfplexes, which maintain a housing type mix in the area plus an attractive streetscape.

ENVIRONMENTAL DETERMINATION: The project is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15305(a)).

RECOMMENDATION: Staff recommends approval of the lot line mergers subject to conditions, by adopting the attached resolution.

**EXHIBIT A**



REVISED TENTATIVE MAP OF MEADOW WOOD OF SACRAMENTO CALIFORNIA  
 P86-139 5-8-86 SCALE = 1"=100'

- RECORD OWNER / SUBDIVIDER:  
 BILLY H. HENNINGER CO.  
 2051 WILSON  
 SACRAMENTO, CALIFORNIA
- PROPOSED USE:  
 48 - R1 SINGLE FAMILY LOTS (INTERIOR)  
 17 - CORNER LOTS (DOMINANT LOT) (L) (R)  
 1 - PARK SCHOOL JOINT USE (LOT A)
- WATER SUPPLY:  
 PUBLIC UTILITY
- SEWAGE DISPOSAL:  
 PUBLIC SEWERS
- PROPOSED IMPROVEMENTS:  
 SACRAMENTO CITY STANDARDS
- ACRES:  
 111.2 AC'S
- EXISTING ZONE:  
 R1 (COUNTY ZONE)
- PROPOSED ZONE:  
 R-1 (CITY ZONE)
- PROPOSED BUILDING SETBACKS:  
 SACRAMENTO CITY STANDARDS
- ASSESSORS' PARCEL NUMBER(S):  
 225-170-08
- AVERAGE LOT SIZE:  
 17.100'
- CONSTRUCTION PHASING:  
 PHASE ONE - 220 LOTS  
 PHASE TWO - 232 LOTS

NOTE:  
 10.5 = ACS - TOTAL  
 22.6 = ACS - STREET  
 13.9 = ACS - EASEM.  
 2.0 = ACS - PARK  
 72.0 = ACS (NET)  
 472 - LOTS (G.L.S. L.)  
 384 - 1173 R1X LOTS  
 88 CORNER LOTS (from  
 560 possible lots)

ITEM 18