



CITY OF SACRAMENTO
CALIFORNIA

NEIGHBORHOODS, PLANNING AND
DEVELOPMENT SERVICES DEPARTMENT

1231 I STREET
ROOM 200
SACRAMENTO, CA
95814-2998

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD**

FILE: P99-146

PREVIOUS FILE NUMBER(S): P96-058, P98-133, P99-022

PROJECT NAME: Northpointe Park Village 11

ASSESSOR'S PARCEL NUMBER(S): 225-1060-012

APPLICANT'S NAME/ADDRESS: JTS Communities, Inc. (Cindy Moreno / Scott Schriber)
3434 Marconi Avenue, Sacramento, CA 95821
(916) 487-3434

APPROVAL: This Planning Director's Special Permit (PDSP) approval is for **76 lots** in Northpointe Park Village 11, located on the east side of Crest Drive, north of Del Paso Road and east of Natomas Blvd. After approval of the PDSP, the following entitlements are required prior to construction of the residential development: 1) Zoning Administrator's Special Permit for a Model Home Complex; and 2) Building Permit.

PROJECT INFORMATION:

Typical Lot -	55 feet x 105 feet	Zoning -	R-1A-PUD
Typical Lot Size -	5775 square feet	Range in House Size -	1,509 to 2,716 s.f.
Number of Lots -	76 lots	Range in Price -	\$180,000- 250,000
Gross Acres -	14.035 acres	Number of Models -	7
Net Acres -	13.519 acres	Number of Elevations -	3
Net Density -	5.6 du/na	No. of Color Palettes -	17 (total)

BACKGROUND: Northpointe Park Planned Unit Development (PUD) was established on February 4, 1997 by the City Council, which also approved the Development Agreement, General Plan and North Natomas Community Plan Amendments, and a Rezone, along with the PUD Schematic Plan and PUD Guidelines (Resolution No. 97-061). On December 19, 1996, the Planning Commission had approved the Tentative Master Parcel Map and Tentative Subdivision Map for Northpointe Park, together with various Subdivision Modifications (P96-058), along with forwarding recommendations for approval on the aforementioned entitlements approved by City Council. In approving the PUD Guidelines, the Council determined that a Planning Director's Special Permit would be required in lieu of a Planning Commission Special Permit for single and two family residential development within the PUD. The PUD Guidelines have been subsequently amended on January 21, 1999 and March 25, 1999 (P98-133 and P99-022, respectively), primarily with respect to setback and lot coverage requirements.

The applicant is requesting approval of a Planning Director's Special Permit for seven single family house plans on 76 lots within Northpointe Park Village 11 (see Vicinity Map). Village 11 is located on the east side of Crest Drive, off of North Bend Drive near Gateway Park Boulevard, north of Del Paso Road and east of Natomas Boulevard (formerly Truxel Road).

PROJECT DETAILS:

House Plans: Please see Table 1 below for information regarding each house plan. The square footage given is the total living space as provided by the applicant. Also note that a negative value under Garage Recess indicates that the garage projects out in front of the house instead of being recessed; and a negative value under Porch Projection indicates that the porch (or covered entry, as the case may be) is recessed behind the forward most living space rather than projecting out in front.

**Table 1
HOUSE PLANS**

	House Plan Model Number	Square Footage	No. of Stories	No. of Bedrms	Garage Stalls	Max House Dims		Garage Recess	Porch Projection
						(width)	(depth)		
1	103J	1509	1	3	2	45.00	50.50	11.17	-5.67
2	113LW	1704	1	3/4	2	45.00	69.25	34.17	2.00
3	104J	1777	1	3/4	2	45.00	60.00	1.00	4.00
4	119LW	2013	1	3/4	2	45.00	70.25	26.50	4.00
5	108J	2333	2	3/4	2/3	44.00	65.00	42.00	1.83
6	115LW	2482	2	4	2/3T	45.00	46.00	5.00	-8.25
7	116LW	2697	2	4/5	3	45.00	60.67	-20.33	-5.83

Other features and options of the house plans include:

103J: Bedroom 3/Den option; 2-car garage;

113LW: 2-car garage near back of house; Porte Cochere; Bedroom 4/Den option at front of house;

104J: Bedroom 4/Den option at front of house; 2-car garage;

119LW: 2-car garage near back of house; Porte Cochere combined with front porch; Bedroom 4/Den option at front of house with separate outside entry;

108J: Garage at rear of house; Porte Cochere combined with front porch; Bedroom 4/Den option at front; Bedroom 2/Loft option; optional Covered Patio (155 SF) in rear; possible 3rd-car option;

115LW: Second floor extends over entire living area at front of house; additional front porch (174 SF) on Elevation C; Jr. Suite option for tandem 3rd-car garage space; possible 4th-car option;

116LW: 2-car side-entry garage projects out in front; separate third-car garage; Bedroom 5/Den option; Bedroom 4/Loft option; Bonus Room upstairs; possible 4th-car option.

Models: The model home complex for this development will include an example of the 115LW, 116LW, and 119LW plans. These models will be located on lots 54, 55, and 56, facing Crest Drive.

Height, Setbacks, and Lot Coverage: One and two story homes are proposed for all lots in the subdivision, which is in compliance with the maximum of two stories allowed by the amended PUD Guidelines. The minimum setbacks required by the PUD Guidelines are shown in Table 2 below:

**Table 2
SETBACKS**

Minimum Setbacks	Front	Rear	Side	Street Side
Living Area	16	15	5	12.5
Porch	14	15	5	12.5
Garage	20	15	5	N/A

The Natomas Park Design Review Committee (DRC) is requiring greater setbacks of 18 feet to the living area and 16 feet to porches, with 20 feet to second story elements, plus an additional three feet of setback for lots 50-57 (which are 115 feet instead of only 105 feet deep) along Crest Drive. These requirements are incorporated as an advisory note in the conditions of approval. Note that the City of Sacramento encourages variation in front setback, beyond the minimum, from house to house along the street.

The typical lot size in Northpointe Park Village 11 is 55 feet wide by 105 feet deep, or 5,775 square feet. There are no lots in the subdivision smaller than this typical size. All of the plans submitted will fit on any lot in the subdivision with respect to setbacks. This is true for the deeper setbacks required by the Natomas Park DRC, as well as for the minimum setbacks required by the City. Nevertheless, it should be noted that the three plans with the garage at or near the rear of the house (the 108J, 113LW, and 119LW) offer less flexibility in varying front setback due to the longer depth of these plans; however, Planning staff does not consider this to be a drawback in any way, given the prominence of living space relative to the garage on each of these three plans. The City of Sacramento Single Family Residential Design Principles encourage minimizing the impact and dominance of garages on the streetscape.

**Table 3
LOT COVERAGE**

		GROUND FLOOR AREAS (SF)							
	House Plan Model Number	Living Space	Garage Area	Porte Cochere	Front Porch	Total Footprint	Allowance Area	% Lot Coverage	% with Allowance
1	103J	1484	390	0	48	1922	243	33%	29%
2	113LW	1710	402	176	39	2327	240	40%	36%
3	104J	1778	400	0	94	2272	94	39%	38%
4	119LW	2020	406	171	120	2717	323	47%	41%
5	108J	1265	502	285	117	2169	368	38%	31%
6	115LW	1178	648	0	58+174	2058	556	36%	26%
7	116LW	1493	697	0	30	2220	30	38%	38%

The lot coverages shown in Table 3 above are calculated based on the minimum/typical lot size of 5,775 square feet: first using the total footprint area, which includes all first floor living space, garage, porte cochere, and front porch areas; and secondly, taking allowances into consideration, which consist of all front porch area, plus 50% of all garage area for plans on which the garage is recessed five feet or more

behind the forward most living area. The area of options, such as additional garage space or the covered backyard patio offered for the 108J plan, are not included; these are discussed below.

According to the amended PUD Guidelines, the maximum lot coverage is 45 percent for single story homes and 40 percent for two story homes, with allowances for porches and recessed garages on both; however, no more than 50 percent of all lots in the subdivision may exceed 40 percent coverage. As Table 3 shows, all of the proposed plans except for the 119LW are within the maximum allowed lot coverage *without* allowances; and *with* allowances, all plans including the 119LW are more than acceptable. Furthermore, it should be noted that it is the area of the porte cochere that makes the difference for the 119LW; and given that this is a desirable feature associated with the rearward garage location and is combined with the front porch (and is arguably an extension of and part of the front porch), staff would argue that an allowance should be considered to encourage such features. If the porte cochere is not counted toward lot coverage, the percent lot coverage for the 119LW plan is 38% and 44% with and without allowances, respectively—again, well within the maximum allowed.

Also note that the addition of the optional covered patio on the 108J plan results in lot coverage of 34% and 40% with and without allowances, respectively, and this is still well within the maximum allowed.

Finally, with respect to the possibility of additional garage space for the 108J, 115LW, and 116LW plans, the applicant has indicated that it is unlikely that these options will be exercised anywhere in this subdivision, given the additional width involved. Although lot coverage is generally not an issue for these options, there appear to be very few, if any, lots upon which they could fit with respect to setbacks.

Corner Lots: There are eleven corner lots in Northpointe Park Village 11 (see Exhibit 1). All of the plans are acceptable on corner lots, with the exception of the 116LW, which features the side entry garage. Plans with side entry garages are generally not appropriate for corner lots because of the requirement that on corner lots the driveway must be located away from the intersection of streets; and likewise, locating the garage toward the corner on a corner lot is also inappropriate. Any proposal to locate the 116LW on a corner lot will be subject to additional review and approval by the Planning Director.

Other Restrictions: The Natomas Park DRC has conditioned the 103J plan to be limited to only half of the ten lots that back toward the elementary school site (lots 67 thru 76). Also, the Natomas Park DRC has conditioned the 116LW plan such that the bonus room option will not be allowed. These requirements are incorporated as advisory notes in the conditions of approval.

Elevations, Materials, and Colors: In general, three elevations are proposed for each house plan, as follows: A - Stucco; B - Stucco and Rock; and C - Stucco and Brick. In addition, with respect to materials, wood siding is provided with Elevation C on portions of the facades of the 115LW and 116LW plans.

However, it should be noted that for the 103J, 104J, and 108J plans, there is a choice of stucco or stucco and rock with one elevation variant defined by window and roof features; and another choice of stucco or stucco and brick on a second elevation variant defined by different window and roof features. These choices provide a total of four elevation variants for these three plans.

In addition to the material differences between elevations described above, variations in other architectural elements are also provided. These include the use of different distinctive treatments on porch columns and entry structures from one elevation to another; the use of arched windows versus squared windows; arched soffits on porch entries and over doors versus squared soffits; hipped roofs versus gabled roofs; different styles of vents; and variations on the use of shutters from one elevation to another.

A variety of brick and stone materials are offered, including a choice between new and used brick, four different choices of Country Ledgerstone, and three choices of Stream Stone. A total of 17 color palettes have been provided, and these have been coordinated with the brick and stone materials. Of the 17, four are provided for Elevation A (stucco) and another four are provided for Elevation C (brick); and the remaining nine palettes are coordinated with the choices of stone materials.

Roofing will be flat concrete tile. Two color choices are provided, both variations of browns. Staff has recommended that applicant consider adding one or two more choices, including perhaps one of gray tones and another of reddish earth tones; however, this is a minor concern, given the wide range of models, elevations, materials and color palettes. Roof pitch was not indicated on the 103J and 108J plans; a 5¾:12 roof pitch is shown for the 104J plan; and 5:12 roof pitch is specified for all of the other plans. The amended PUD Guidelines require a minimum 5:12 roof pitch for all plans.

Enhanced side and rear elevations are required whenever either of those elevations face a public street, school, park, canal, or other public space. Eleven corner lots are included in the village that will require such treatments; and also lots 67 thru 76, which back toward the school site to the south, and lots 17 and 67, which side on to public open space. Enhanced elevations shall include, at a minimum, "pop-outs" around windows and doors consisting of stucco over foam trim, finished with a texture that is different from the texture of the house; and a four foot return of materials on the side elevation. The PUD Guidelines specifies that on enhanced side and rear elevations, window treatments, roof lines, and materials should match the front facade in appearance and quality.

Landscaping: Exhibit 3 illustrates the typical landscaping plan. Approximately two street trees per lot are required on street frontage, at an average spacing of 20 to 30 feet on center. Also, each corner lot will be planted with two street trees at 20 to 30 feet on center and three accent trees. The street trees are shown on the diagram in the Natomas Park Design Review Handbook and accent trees are listed in the Recommended Plant Material List in the Northpointe Park PUD Guidelines. Front yard landscaping materials shall include, in addition to the street trees: one 15-gallon accent tree, one 5-gallon specimen shrub, 20 1-gallon foundation and accent shrubs, ground cover with a minimum spacing of 12 inch on center with decorative bark, and turf. Side yard landscaping shall include, in addition to the street and accent trees: one 5-gallon specimen shrub, ground cover with minimum spacing of 12 inch on center with decorative bark, and turf. Plant materials shall be selected from the plant list in the Northpointe Park PUD Guidelines Exhibit 12 or in the Natomas Park Design Review Handbook Figure VII-1, page 43.

Fences and Walls: A masonry wall will be constructed along the back of lots 57 thru 76, which back toward the elementary school site to the south. This wall will be similar in design and appearance to that shown in Exhibit 13 of the PUD Guidelines, but without the pilasters. There are no lots in the subdivision that will back toward streets or park; and there will be no other masonry walls constructed in the village. On those sides of lots 17 and 57 that side onto public open space, wood fence with steel posts will be provided; and wood fence with wood posts will be provided elsewhere in the village per Natomas Park DRC requirements. All fencing visible to the public shall have a semi-transparent stain in a neutral tone to be specified by the Natomas Park DRC. A maximum six foot tall fence may be used behind the front and street side setbacks; and within the front setback area, no fence or wall shall be greater than 3'-6" in height. On corner lots, the backyard fence shall commence at the back corner of the house leaving the side yard landscaping exposed to the side street.

Air Quality Mitigation Strategy: The master developer of Natomas Park, which includes Northpointe Park PUD and this village, has submitted an Air Quality Mitigation Plan. The Plan was adopted by Planning and Public Works. The homebuilder of this village is responsible for the following mitigation measures: 1) participation in the North Natomas Transportation Management Association (TMA); 2) installation of energy efficient windows, low emission water heaters, gas or electric outlets in the backyard,

and ISDN wiring and connections (or current technological equivalent) in all of the homes; and 3) provision of information to homebuyers about electric vehicles and lawn equipment, and the TMA.

COMMENTS:

Public notice was mailed to adjacent property owners by the applicant on November 19, 1999. No comments have been received in response to the public notice. Review of the project plans was completed by the Natomas Park Design Review Committee on November 29, 1999, with comments and conditions provided in the letter from Don Barnett of Lennar Communities attached as Exhibit 10. The project plans were presented by the applicant to the Natomas Community Association on December 7, 1999, where they were well received.

On February 4, 1997, the City Council ratified a Negative Declaration for the original project (P96-058). Potentially significant environmental issues regarding Animal Life, Noise, Land Use, and Cultural Resources were discussed and mitigated in this document. The proposed project was analyzed in this previous environmental document. No new issues or new information is known that would trigger additional environmental analysis. Section 15162 of the California Environmental Quality Act Guidelines provides that an additional Negative Declaration (or Environmental Impact Report) need not be prepared unless subsequent changes are proposed to the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. A Mitigation Monitoring Plan was prepared for the mitigation measures identified in the previous Negative Declaration. The applicant shall comply with the Mitigation Monitoring Plan, when applicable to the proposed project.

Public Works staff comments require that a minimum 20 foot driveway be provided on each Plan. Also, Public Works staff has reviewed and approved the Transportation Systems Management and Air Quality (TSM/AQ) Plan for Natomas Park, including Northpointe Park PUD. TSM measures are being provided with these plans, and are included as conditions of approval.

Planning staff finds all of the house plans and elevations to be of a high quality and excellent design. Staff appreciates the following features of the house plans: 1) garages located at or near the back of the house, or recessed back from the front on all but one of the seven plans; 2) extensive porch features and porte cocheres on several of the plans; and 3) predominantly only two-car garages, and third-car spaces that are tandem or separate from the two car garage.

Staff finds that the proposed house plans comply with all applicable General Plan, Community Plan, and Zoning Ordinance requirements, and are consistent with the Northpointe Park PUD Guidelines and Schematic Plan.

ACTION:

The Planning Director approves the requested Planning Director's Special Permit based on the following findings and subject to the following conditions:

Findings:

1. The proposed residential development is consistent with the objectives of the General Plan and the 1994 North Natomas Community Plan in that:
 - o the project is consistent with the General Plan land use designations;

- o the project is consistent with the 1994 North Natomas Community Plan land use designations;
 - o the project is consistent with policies related to land use, including residential densities and open space proximity;
 - o the project continues to develop planned North Natomas neighborhoods each focused on an elementary school, with a variety of housing densities and types, with commercial, civic, transit, and park uses close by; and
 - o the project advances City transportation management and air quality goals.
2. The proposed residential development is consistent with the adopted PUD Guidelines and Schematic Plan for the Northpointe Park PUD in that the housing designs provided comply with requirements related to setbacks, height, and lot coverage and meet the purposes and criteria stated in the City Zoning Ordinance Chapter 5, Sections 4A and 4B, in that the PUD facilitates mixed residential uses designed to assure that new development is healthy and of long lasting benefit to the North Natomas community and the City; and
 3. The proposed residential development will not be detrimental to the public health, safety or welfare in that the single family residential development will be in harmony with the general purposes and intent of the Zoning Ordinance in that the approved elevations are well-designed; and that the proposed uses will not create a negative impact on any nearby sensitive uses.

Conditions:

1. The design of the proposed house plans shall conform substantially to the plans as shown on Exhibits 3 thru 9, and specifically:
 - a. Elevation B shall have stucco and stone standard; and Elevation C (or Elevation D of the 103J, 104J, and 108J plans) shall have stucco and brick standard, with wood siding on portions of the 115LW and 116LW plans, as shown on the attached exhibits;
 - b. On corner lots, the driveway shall be located away from the intersection of streets;
 - c. Any proposal to locate the 116LW plan, which features the side entry garage, on a corner lot will be subject to additional review and approval by the Planning Director, including submittal of a plot plan to Planning Staff illustrating the proposal in detail;
 - d. None of the house plans may be placed on more than two adjacent/consecutive lots, and shall be different elevations when adjacent;
 - e. Four color palette options shall be offered for each of Elevations A and C; and a choice of color palette options shall be offered with each stone option;
 - f. Roofing shall be concrete tile; references to other options on any of the plans submitted must be removed prior to submitting for building permit;
 - g. The roof shall be finished with end and ridge caps; and
 - h. Roof pitch shall be no less than a 5 to 12 pitch.

Any change in the design, materials, or colors shall be submitted to the Planning Director for review and approval.

2. Prior to development of a model home complex, the applicant shall obtain a Zoning Administrator's Model Home Special Permit.
3. The applicant shall obtain all necessary building permits prior to commencement of construction.
4. The applicant shall comply with the originally approved Mitigation Monitoring Plan (P96-058) on file at the Planning Department.
5. The Planning Director's Special Permit shall expire two years from date of issue, on February 1, 2002.
6. Air Quality Mitigation: The applicant shall comply with the Natomas Park TSMAQ Plan for residential development, including but not limited to the following:
 - a. Participate in the North Natomas Transportation Management Association (TMA);
 - b. Install low nitrogen oxide emitting, and/or high efficiency water heaters;
 - c. Install gas or electric outlets in the backyard;
 - d. Install energy efficient dual-pane windows, and/or energy efficient windows treated with reflective coatings; and
 - e. Provide new homeowners with information regarding alternative travel modes.
7. Street Trees: The parcel builder shall provide and install an average of two 15-gallon size trees per lot frontage, with the trees specified in the Street Tree Diagram and Matrix in the Natomas Park Design Review Handbook. These trees shall have an average spacing of 20' to 30' on center, as measured along the entire length of the street. For corner lots, the exposed side yard facing the street shall also be planted with two 15-gallon size trees as per the Street Tree Matrix and three accent trees selected from the Recommended Plant Material list in the Northpointe Park PUD Guidelines Exhibit 12. If spacing is interrupted by street lights or driveways, the trees shall be re-spaced to accommodate required clearances while maintaining the required quantity of trees on average. All planting shall conform to City standards for sight line requirements at intersections and driveways.
8. Landscaping: Front yard landscaping materials shall include, in addition to the street trees: one 15-gallon accent tree, one 5-gallon specimen shrub, 20 1-gallon foundation and accent shrubs, ground cover at a maximum spacing of 12 inch on center with decorative bark, and turf. Side yard landscaping shall include, in addition to the street and accent trees: one 5-gallon specimen shrub, ground cover with a maximum spacing of 12 inch on center with decorative bark, and turf. Plant materials shall be selected from the plant list in the Northpointe Park PUD Guidelines Exhibit 12 or the Natomas Park Design Review Handbook Figure VII-1, page 43. All planting shall conform to City standards for sight line requirements at intersections and driveways. See Exhibit 3 for the Typical Lot Landscaping plan.
9. Fencing and Walls: A masonry wall shall be provided along the back of lots 67 thru 76, which back toward the school site to the south; the design shall be similar to that shown on Exhibit 13 of the PUD Guidelines, but without the pilasters. Wood fencing with steel posts shall be provided along those sides of lots 17 and 67 that side onto public open space, wood fence with steel posts will be provided; and all other fencing shall be wood fence with wood posts per Natomas Park DRC requirements. Side and rear yard fences visible from the park and other public areas which are composed of wood shall have continuous top and bottom rails; and all fencing visible to the public shall have a semi-transparent stain in a neutral tone to be specified by the Natomas Park DRC. A maximum six foot tall fence may be used behind the front and street side setbacks; and within

the front setback area, no fence or wall shall be greater than 3'-6" in height. On corner lots, the backyard fence shall commence at the back corner of the house leaving the side yard landscaping exposed to the side street; note that in the case of the 104J and 113LW plans, this refers to the back corner of the family room, not the master bedroom. All fencing shall conform to City standards for sight line requirements at intersections and driveways.


10. Design Enhancements on Visible Elevations: Enhanced side and rear elevations shall be required whenever either of those elevations face a public street, school, park, canal, or other public space. Eleven corner lots are included in the village that require such treatments; and also lots 67 thru 76, which back toward the school site to the south, and lots 17 and 67, which side on to public open space. Enhanced elevations shall include, at a minimum, "pop-outs" around windows and doors consisting of stucco over foam trim, finished with a texture that is different from the texture of the house; and a four foot return of materials on the side elevation. On enhanced side and rear elevations, window treatments, roof lines, and materials shall match the front facade in appearance and quality.
11. Driveways: Driveways shall have a pattern of score lines that will create a pleasing texture compatible with the architecture and minimize the expanse of concrete.
12. Garage: Each house plan shall provide at least one garage space with minimum *inside* dimensions of 10 feet wide by 20 feet long, as required by the City Zoning Ordinance.

Advisory Notes:

13. Driveways: Staff recommends finishing portions of the driveway area behind the porte cochere (on those plans that feature one) to create the appearance of a courtyard, with inset brick, stone, or other materials as appropriate to compliment the architecture of the elevation. In addition, "Hollywood style" driveways are encouraged with a minimum 2 foot 6 inch planter strip between the two driveways.
14. Setbacks: The Natomas Park DRC is requiring greater setbacks of 18 feet to the living area and 16 feet to porches (except for the 119LW plan, which is allowed at 15 feet to the porch), with 20 feet to second story elements, plus an additional three feet of setback for lots 50-57 (which are 115 feet instead of only 105 feet deep) along Crest Drive. Note that minimum setbacks required by the City, as specified in the Northpointe Park PUD Guidelines, are 16 feet and 14 feet to the living area and porch, respectively.
15. Restriction of Plan 103J: The Natomas Park DRC has conditioned the 103J plan to be limited to only half of the ten lots that back toward the elementary school site (lots 67 thru 76).
16. Restriction on Plan 116LW: The Natomas Park DRC has conditioned the 116LW plan such that the bonus room option will **not** be allowed.

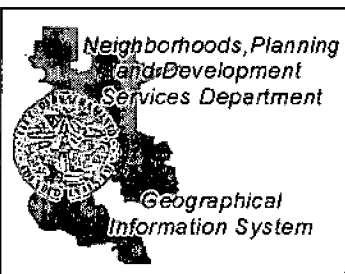
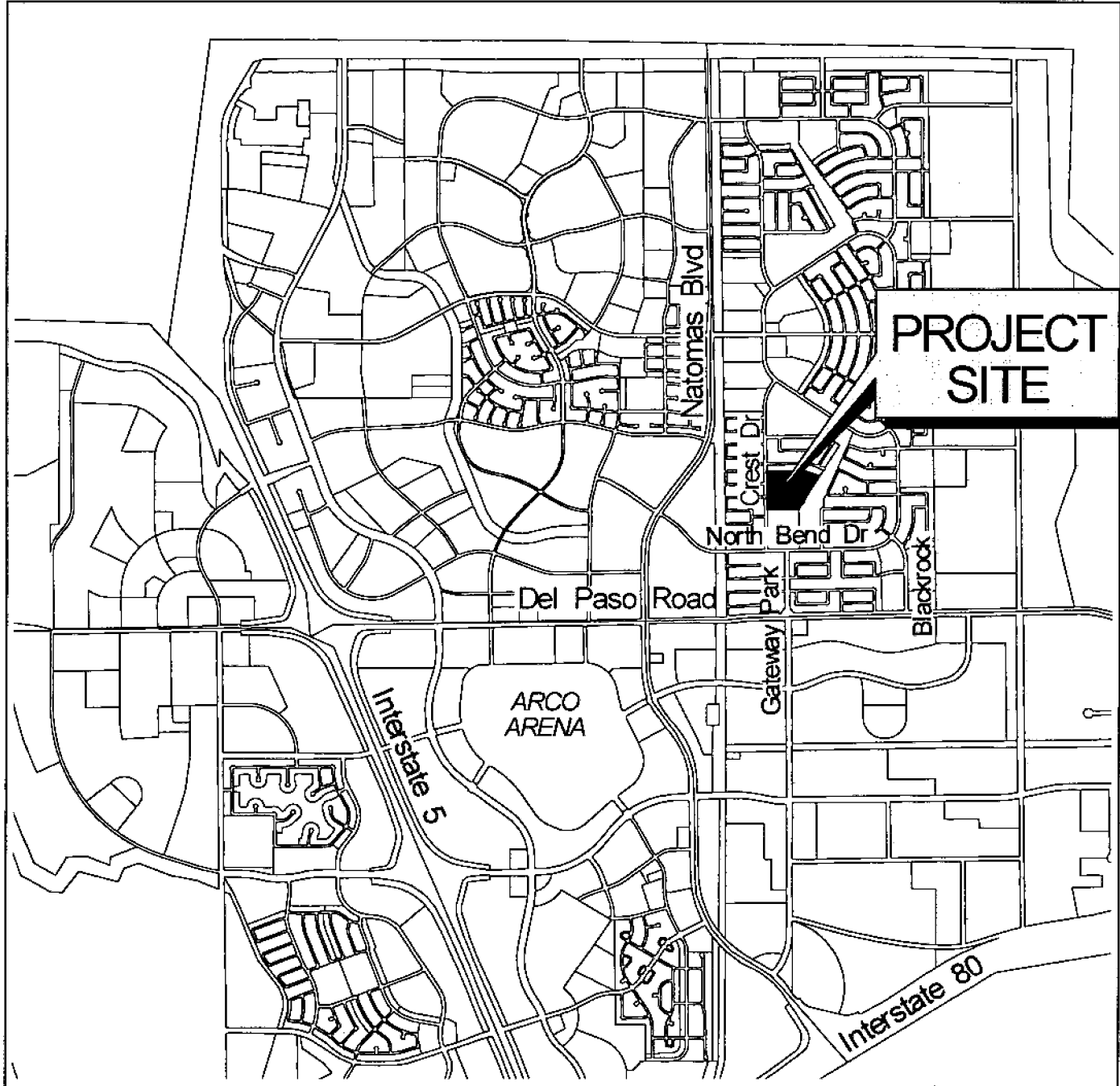
APPROVED ON: January 27, 2000

PREPARED BY: 
Philip Reed, Junior Planner

APPROVED BY: 
Scot Mende, Senior Planner

- Attachments:
- Vicinity Map
 - Exhibit 1: Site Plan
 - Exhibit 2: Setback Exhibit
 - Exhibit 3: Typical Lot Landscaping Exhibit
 - Exhibit 4: 103J - (a) and (b) Elevations, and (c) Floor Plan
 - Exhibit 5: 113LW - (a) (b) and (c) Elevations, and (d) Floor Plan
 - Exhibit 6: 104J - (a) (b) (c) and (d) Elevations, and (e) Floor Plan
 - Exhibit 7: 119LW - (a) (b) and (c) Elevations, and (d) Floor Plan
 - Exhibit 8: 108J - (a) and (b) Elevations, and (c) Floor Plan
 - Exhibit 9: 115LW - (a) (b) and (c) Elevations, and (d) Floor Plan
 - Exhibit 10: 116LW - (a) (b) and (c) Elevations, and (d) Floor Plan
 - Exhibit 11: Natomas Park Design Review Committee Approval Letter
 - Exhibit 12: Letter of Agreement

File: Original
cc: Applicant
Development Services - Building Division (2)
PUD Binder



**Vicinity Map
P99-146**

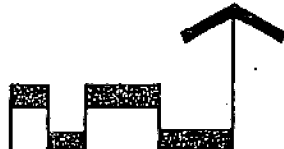
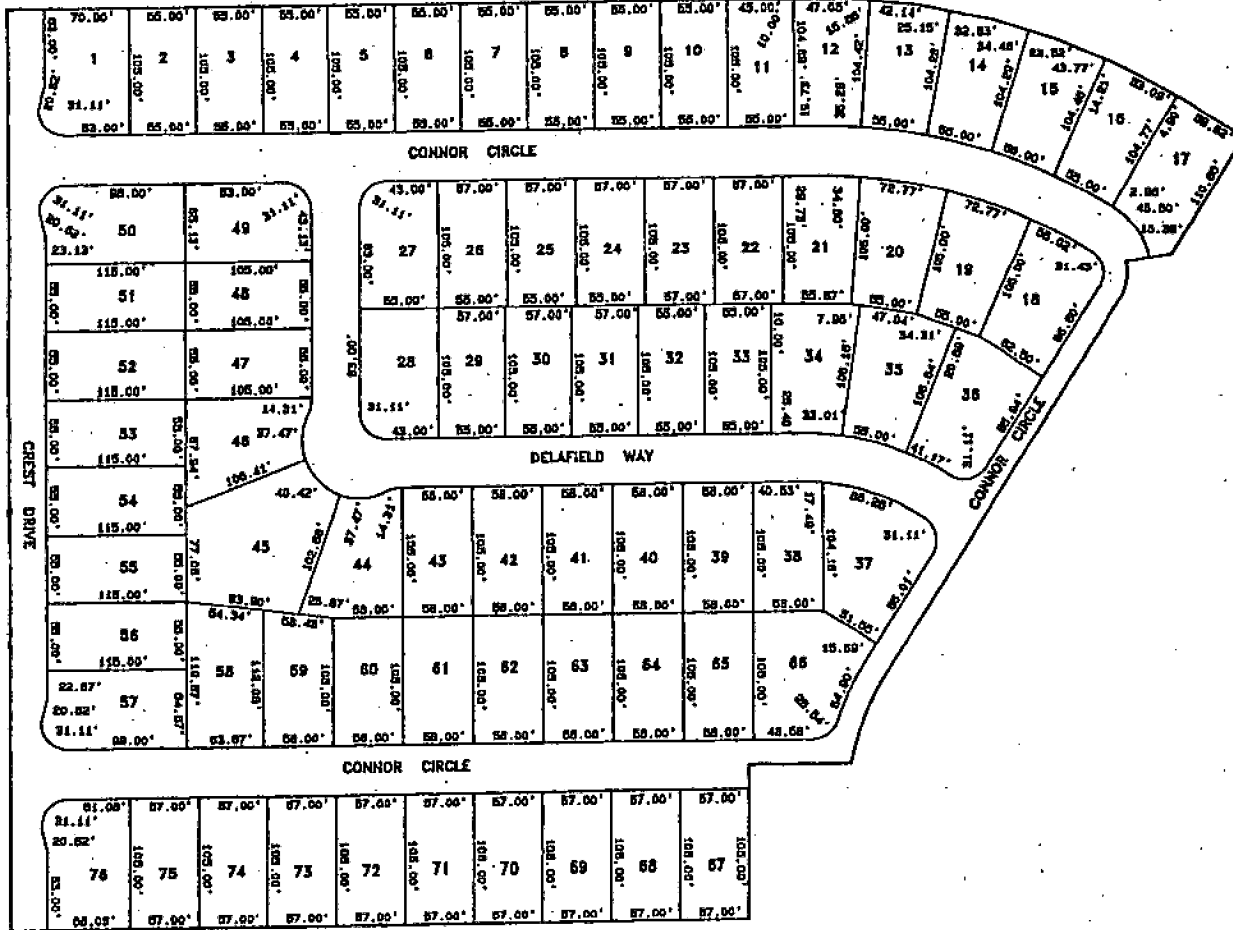


NORTHPOINTE PARK

UNIT 11

City of Sacramento,

California

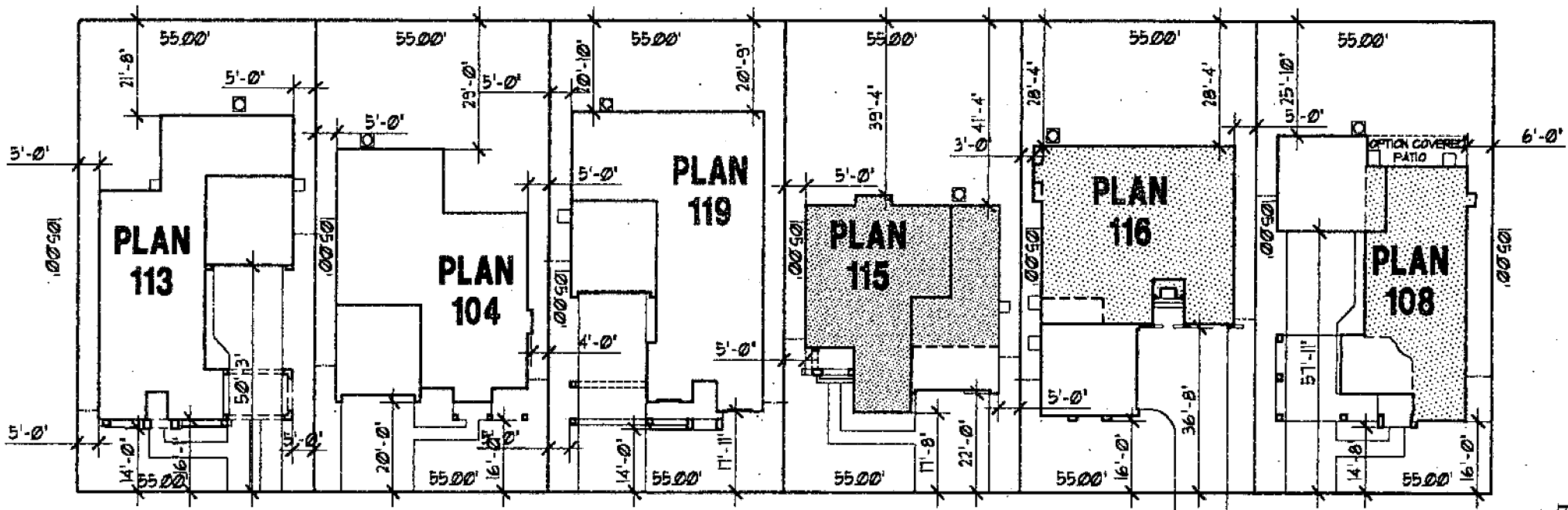


NOT TO SCALE

The Spink Corporation

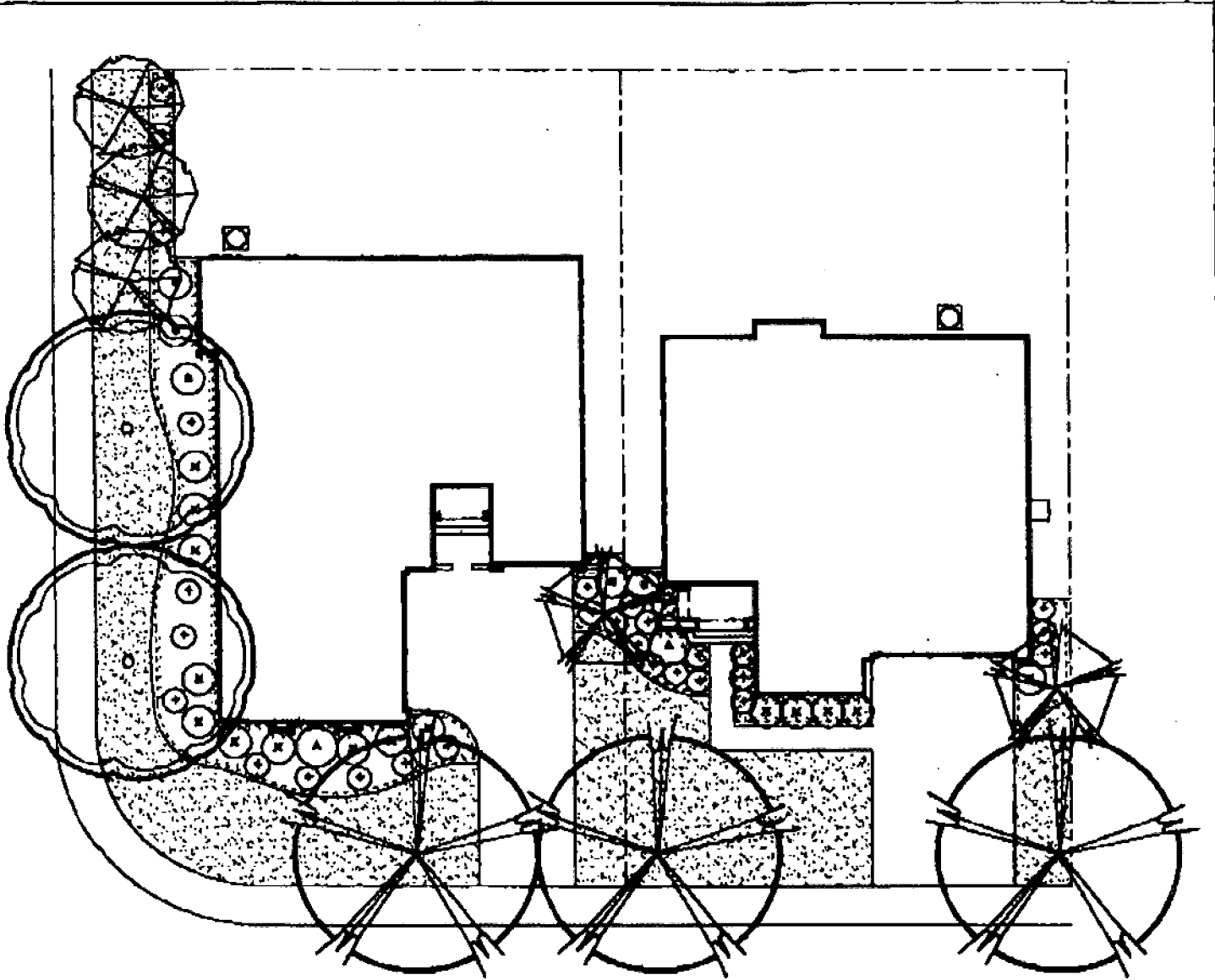
2590 VENTURE OAKS WAY SACRAMENTO, CA 95833
PHONE: (916)926-6550 FAX: (916)926-9274

Exhibit 1 - Site Plan



TYPICAL LOTS FOR NATOMAS PARK VILLAGE 11

55' x 105'



LEGEND

STREET TREE 1



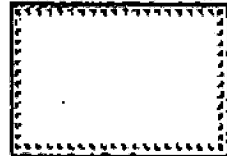
ACCENT TREE



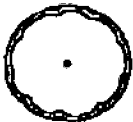
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GROUND COVER



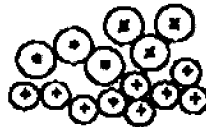
STREET TREE 2



SIDE YARD ACCENT



1 GAL. SHRUBS



TURF AREA



ALL TREES SHALL BE 15 GALLON SIZE

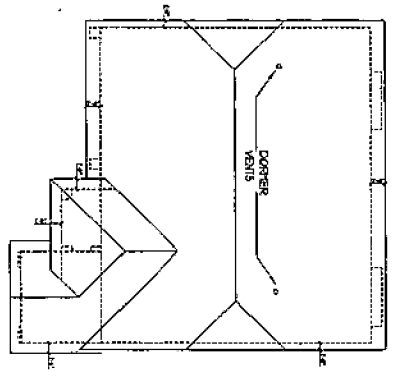
TYPICAL STREETSCAPE PLAN

SCALE: 1" = 20'

JTS COMMUNITIES

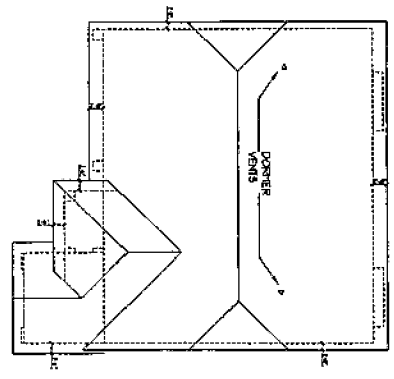
NOV. 1999

ATTN: VENTILATION REQUIREMENTS
 ALL VENTILATION REQUIREMENTS
 SHALL BE MET BY THE CONTRACTOR
 AND SHALL BE SHOWN ON THE
 CONTRACT DOCUMENTS.
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 SHALL BE MET BY THE CONTRACTOR
 AND SHALL BE SHOWN ON THE
 CONTRACT DOCUMENTS.



ROOF PLAN

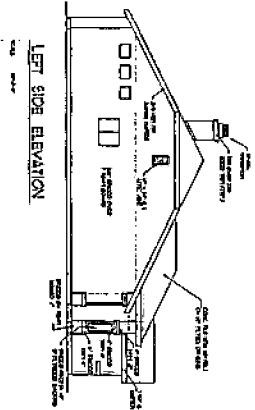
ATTN: VENTILATION REQUIREMENTS
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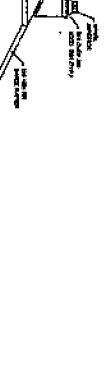
ROOF PLAN



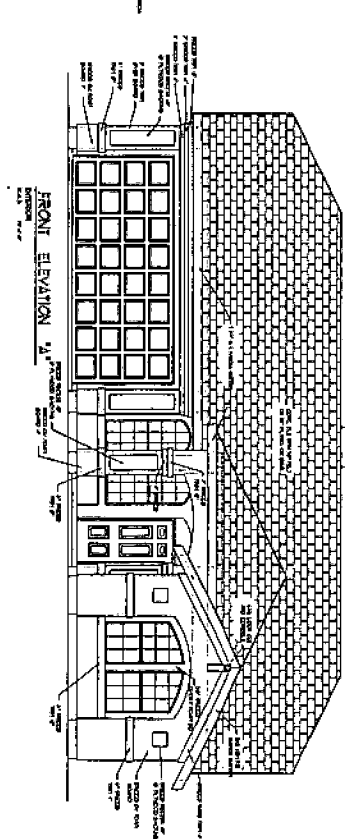
RIGHT SIDE ELEVATION



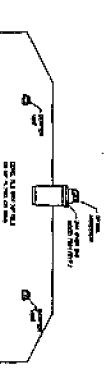
RIGHT SIDE ELEVATION



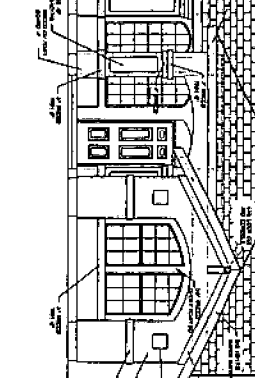
FRONT ELEVATION



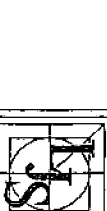
FRONT ELEVATION



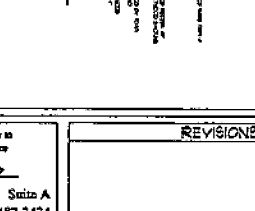
REAR ELEVATION



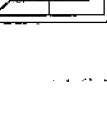
REAR ELEVATION



LEFT SIDE ELEVATION



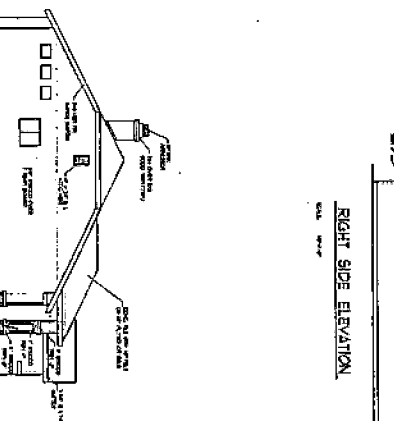
LEFT SIDE ELEVATION



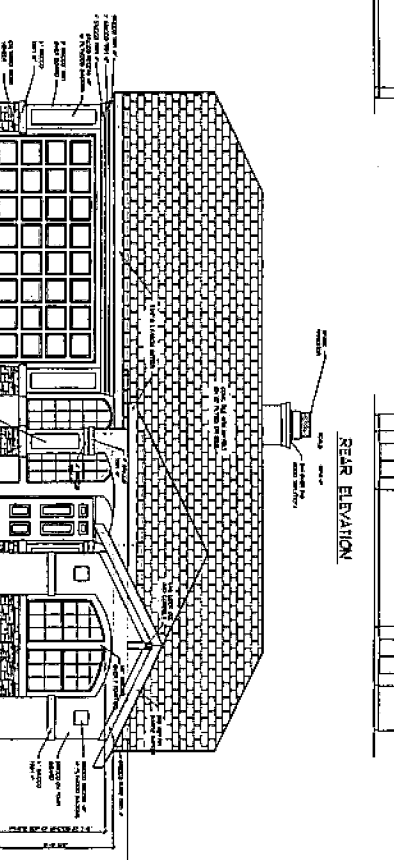
RIGHT SIDE ELEVATION



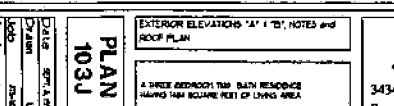
RIGHT SIDE ELEVATION



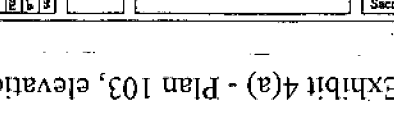
FRONT ELEVATION



FRONT ELEVATION



REAR ELEVATION



REAR ELEVATION

LEFT SIDE ELEVATION

LEFT SIDE ELEVATION

RIGHT SIDE ELEVATION

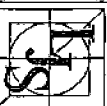
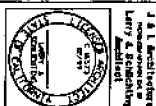
RIGHT SIDE ELEVATION

PLAN
 103J
 DATE: SEP 1, 2001
 DRAWN BY: LA
 CHECKED BY: LA
 SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS - 1/4" = 1'-0", NOTES and ROOF PLAN
 A THREE BEDROOM TYP. BATH RESIDENCE HAVING 1848 SQUARE FEET OF LIVING AREA

JTS Working Together in Architecture
 3434 Marconi Avenue Suite A
 Sacramento, CA 95821 (916) 487-3434

REVISIONS



PLAN 103J

Scale: 1/8" = 1'-0"

DATE: 07/11/79
 DRAWN: J.A.A.
 CHECKED: J.A.A.
 SPECIAL: A3.2

EXTERIOR ELEVATIONS OF 70' UNITS AND ROOF PLAN

ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.

ALL WORK SHALL BE IN ACCORDANCE WITH THE 1977 CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

JTS ARCHITECTS

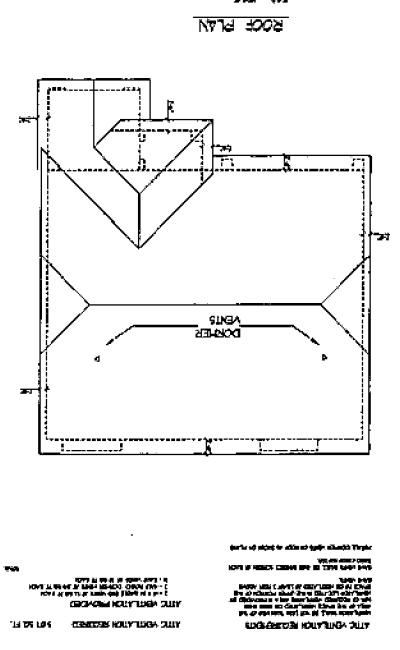
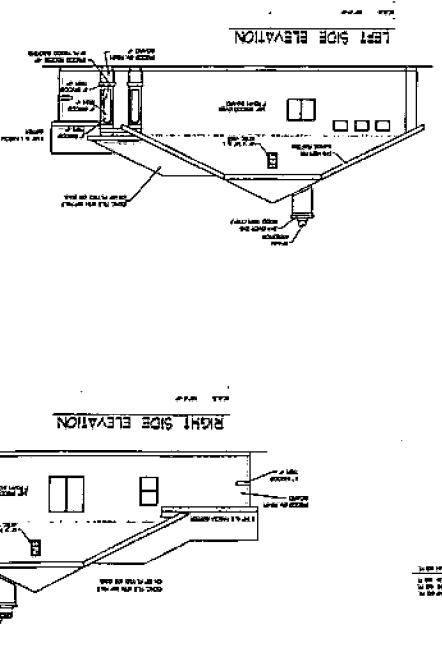
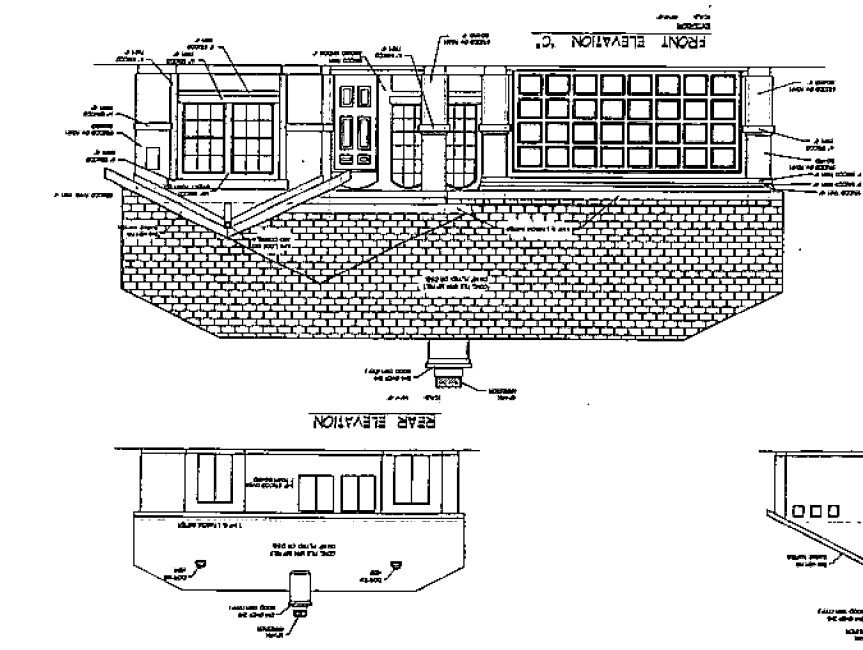
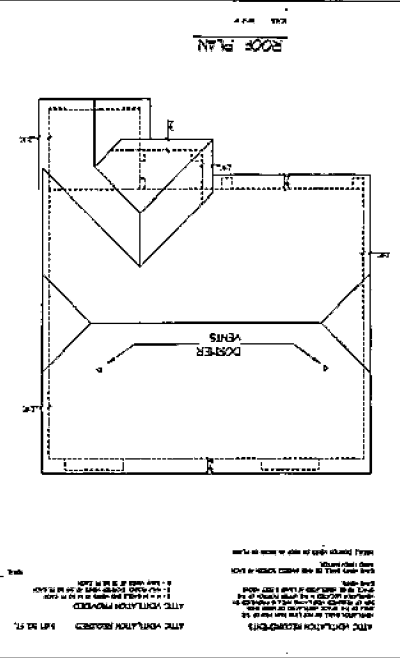
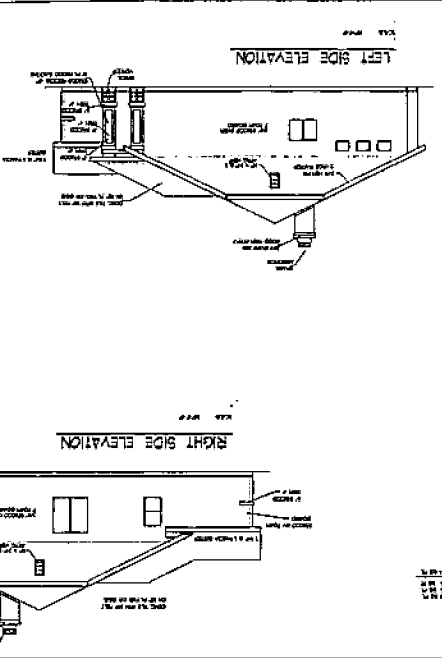
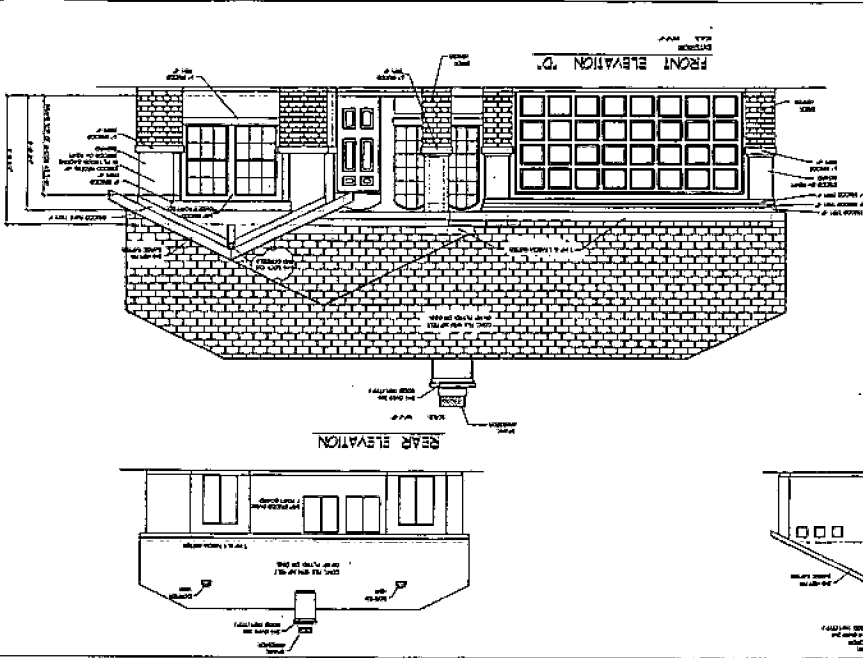
3434 Marston Avenue
 San Bernardino, CA 92411
 (910) 477-2434


Studio A

REVISIONS

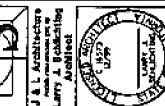


J. A. Archibald
 Licensed Professional Architect





J & L Architects
Larry J. Chabot, Architect



REVISIONS

JTS
Working Together
3434 Marconi Avenue
Suite A
San Francisco, CA 94821 (916) 487-3434

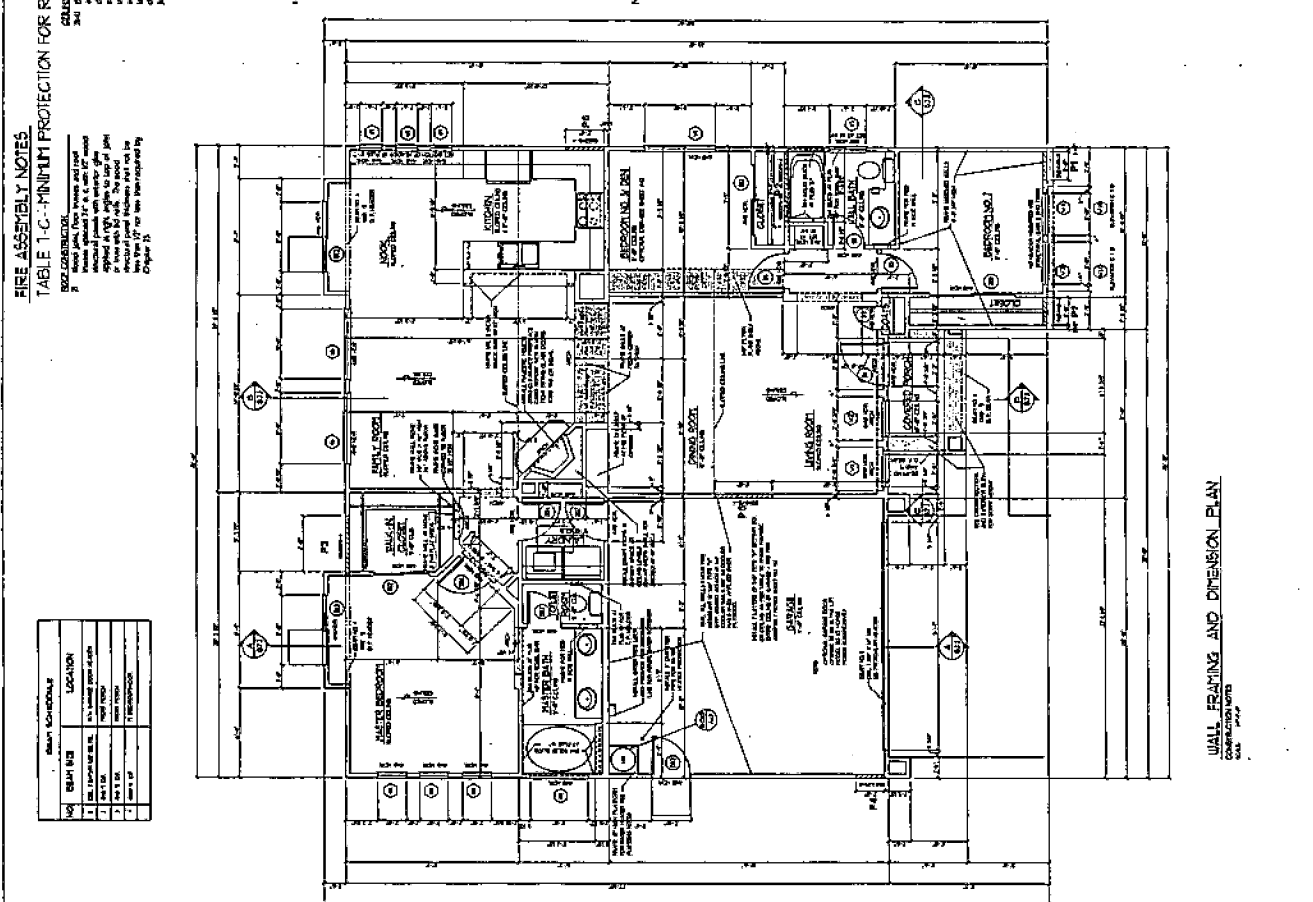
PLAN 103J

A.1.1

FIRE ASSEMBLY NOTES

TABLE 1-C - MINIMUM PROTECTION FOR ROOF SYSTEMS

GENERAL CONSTRUCTION:
 1. All steel joists shall be protected with 1/2" gypsum board applied to both sides of joist. The gypsum board shall be applied to the top of the joist and the bottom of the joist shall be protected with 1/2" gypsum board applied to both sides of the joist. The gypsum board shall be applied to the top of the joist and the bottom of the joist shall be protected with 1/2" gypsum board applied to both sides of the joist. The gypsum board shall be applied to the top of the joist and the bottom of the joist shall be protected with 1/2" gypsum board applied to both sides of the joist.



FRAMING NOTES:

1. ALL WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND THE IBC AND UBC.

2. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING MATERIALS AND THICKNESSES:

3. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING FINISHES:

4. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING PROTECTIVE COATINGS:

5. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING ANCHORS:

6. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING BRACKETS:

7. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING BOLTS:

8. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING NAILS:

9. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING SCREWS:

10. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING PINS:

11. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING WELDS:

12. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING SPLICERS:

13. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING JOISTS:

14. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING BEAMS:

15. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING COLUMNS:

16. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING SLABS:

17. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING ROOFING:

18. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING FLOORING:

19. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING CEILINGING:

20. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING PARTITIONS:

21. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING STAIRS:

22. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING ELEVATORS:

23. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING MECHANICAL ROOMS:

24. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING ELECTRICAL ROOMS:

25. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING TELEPHONE ROOMS:

26. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING COMPUTER ROOMS:

27. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING STORAGE ROOMS:

28. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING OFFICES:

29. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING CONFERENCE ROOMS:

30. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING RECEPTION AREAS:

31. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING LOBBIES:

32. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING CORRIDORS:

33. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING STAIRWELLS:

34. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING ELEVATOR SHAFTS:

35. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING MECHANICAL SHAFTS:

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100. ALL WALLS SHALL BE CONSTRUCTED WITH THE FOLLOWING OFFICE SHAFT SHAFT SHAFT SHAFT SHAFT SHAFTS:

STANDARD WALL SCHEDULE

NO.	DESCRIPTION	THICKNESS	WEIGHT	STRENGTH
1	1/2" GYPSUM BOARD	1/2"	1.5	1.5
2	1/2" GYPSUM BOARD	1/2"	1.5	1.5
3	1/2" GYPSUM BOARD	1/2"	1.5	1.5
4	1/2" GYPSUM BOARD	1/2"	1.5	1.5
5	1/2" GYPSUM BOARD	1/2"	1.5	1.5
6	1/2" GYPSUM BOARD	1/2"	1.5	1.5
7	1/2" GYPSUM BOARD	1/2"	1.5	1.5
8	1/2" GYPSUM BOARD	1/2"	1.5	1.5
9	1/2" GYPSUM BOARD	1/2"	1.5	1.5
10	1/2" GYPSUM BOARD	1/2"	1.5	1.5

GALLERY PORTAL SCHEDULE

NO.	DESCRIPTION	THICKNESS	WEIGHT	STRENGTH
1	1/2" GYPSUM BOARD	1/2"	1.5	1.5
2	1/2" GYPSUM BOARD	1/2"	1.5	1.5
3	1/2" GYPSUM BOARD	1/2"	1.5	1.5
4	1/2" GYPSUM BOARD	1/2"	1.5	1.5
5	1/2" GYPSUM BOARD	1/2"	1.5	1.5
6	1/2" GYPSUM BOARD	1/2"	1.5	1.5
7	1/2" GYPSUM BOARD	1/2"	1.5	1.5
8	1/2" GYPSUM BOARD	1/2"	1.5	1.5
9	1/2" GYPSUM BOARD	1/2"	1.5	1.5
10	1/2" GYPSUM BOARD	1/2"	1.5	1.5

STANDARD CONCRETE SCHEDULE

NO.	DESCRIPTION	THICKNESS	WEIGHT	STRENGTH
1	1/2" GYPSUM BOARD	1/2"	1.5	1.5
2	1/2" GYPSUM BOARD	1/2"	1.5	1.5
3	1/2" GYPSUM BOARD	1/2"	1.5	1.5
4	1/2" GYPSUM BOARD	1/2"	1.5	1.5
5	1/2" GYPSUM BOARD	1/2"	1.5	1.5
6	1/2" GYPSUM BOARD	1/2"	1.5	1.5
7	1/2" GYPSUM BOARD	1/2"	1.5	1.5
8	1/2" GYPSUM BOARD	1/2"	1.5	1.5
9	1/2" GYPSUM BOARD	1/2"	1.5	1.5
10	1/2" GYPSUM BOARD	1/2"	1.5	1.5

WALL FRAMING AND DIMENSION PLAN

STANDARD WALL SCHEDULE

STANDARD CONCRETE SCHEDULE

STANDARD GALLERY PORTAL SCHEDULE

BLDG. DEPT. AND SUBMITTAL SET



ARCHITECTS + PLANNERS
 1000 S. GARDEN ST. SUITE 100
 ANAHEIM, CA 92805
 (714) 771-1111
 WWW.RMMARCHITECTS.COM

PLAN 113LW

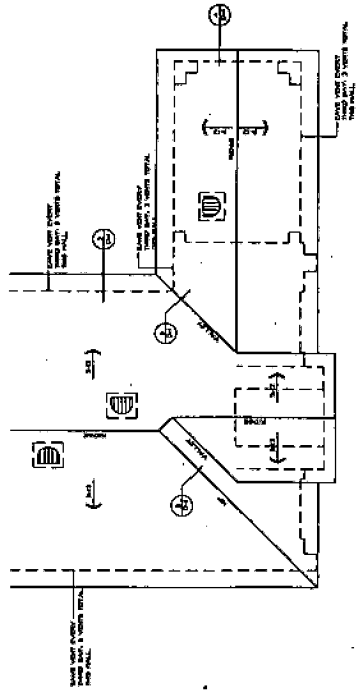
JTS COMMUNITIES
 1000 S. GARDEN ST. SUITE 100
 ANAHEIM, CA 92805

PARTIAL
 FLOOR PLAN,
 ROOF PLAN

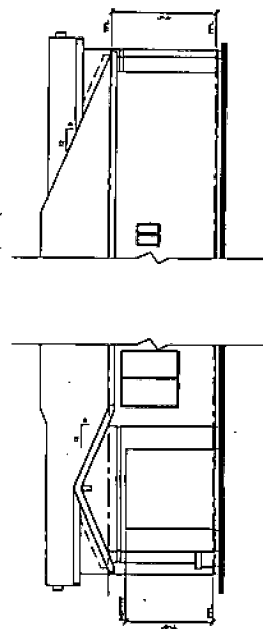
PLAN 113LW

A-14

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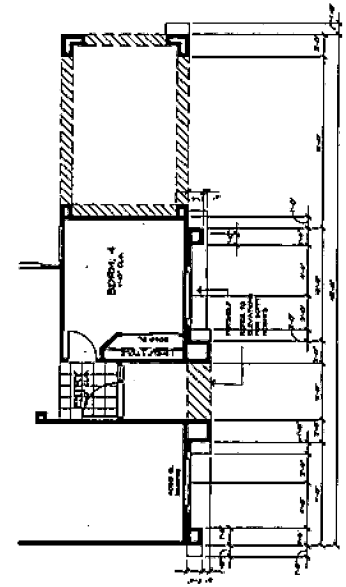


ROOF PLAN 113A
 PARTIAL FLOOR PLAN, ROOF PLAN, ELEVATIONS AND SECTION

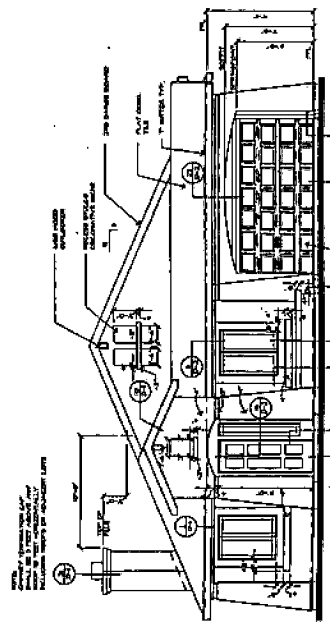


LEFT ELEVATION A

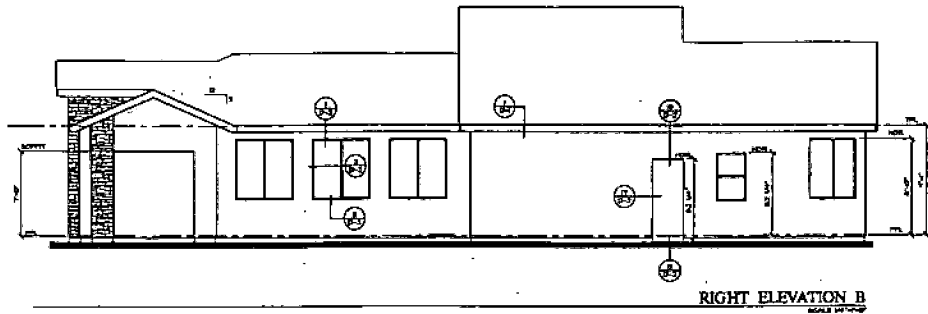
RIGHT ELEVATION A



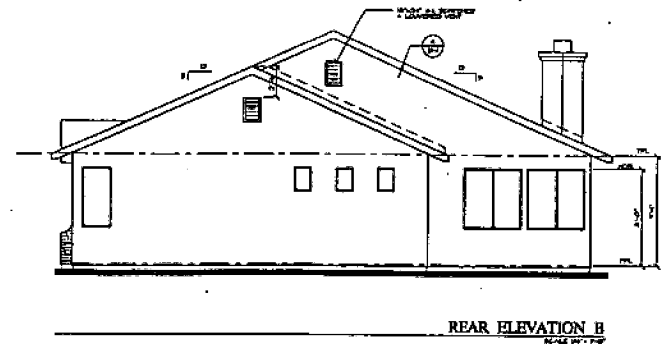
LOWER FLOOR PLAN 113A
 PARTIAL FLOOR PLAN, ROOF PLAN, ELEVATIONS AND SECTION



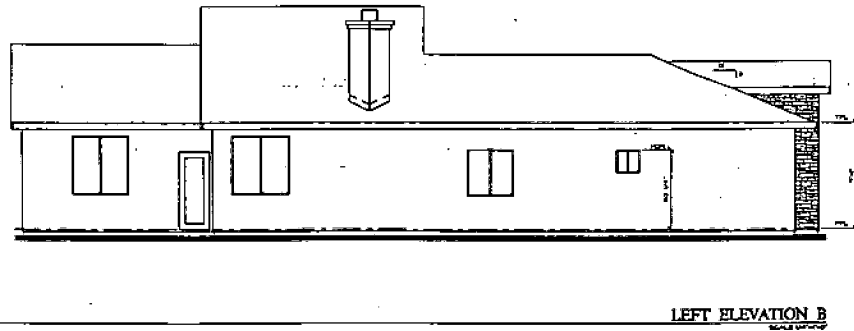
FRONT ELEVATION 113A
 PARTIAL FLOOR PLAN, ROOF PLAN, ELEVATIONS AND SECTION



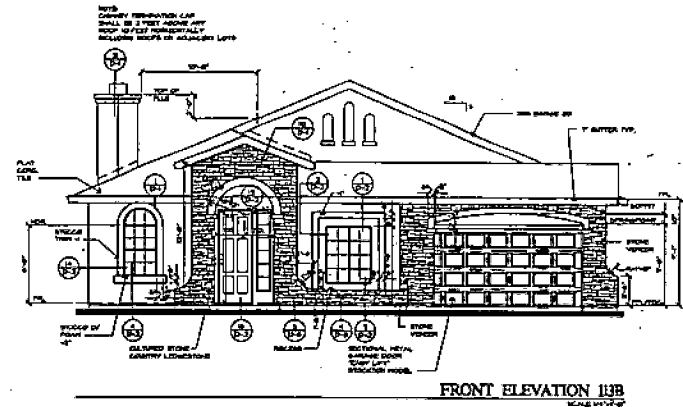
RIGHT ELEVATION B
SCALE 1/4" = 1'-0"



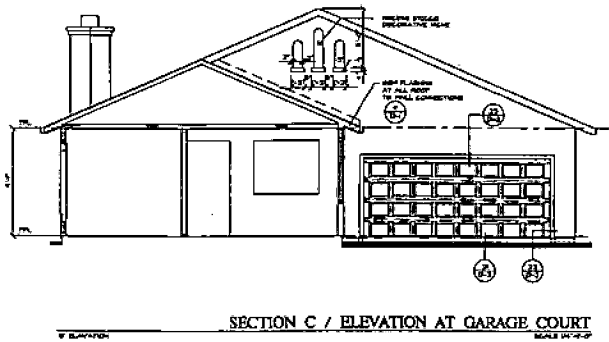
REAR ELEVATION B
SCALE 1/4" = 1'-0"



LEFT ELEVATION B
SCALE 1/4" = 1'-0"



FRONT ELEVATION 113B
SCALE 1/4" = 1'-0"



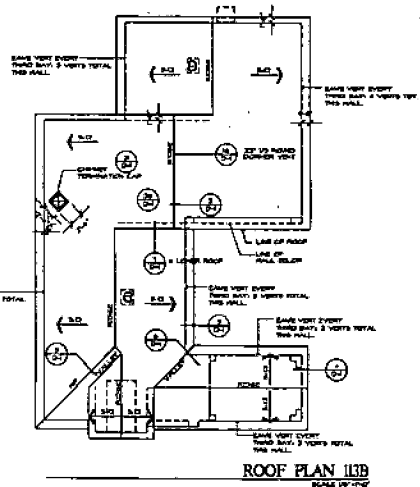
SECTION C / ELEVATION AT GARAGE COURT
SCALE 1/4" = 1'-0"

NOTES:

- | | | | |
|-------------|---|-----------------|--|
| ROOF TILES: | CONCRETE FLAT TILE BY LITETTE | CONCRETE ROOF: | THIN |
| FASCIA: | 1/2" x 1/2" x 1/2" (3) SHOW THE LAYERS AND FELT UNDERLAYMENT | WATER BARREL: | PROVIDE WATER BARREL AROUND ALL WALL PENETRATIONS INCLUDING DOORS, WINDOWS, AND VENTS - PER DETAIL DETAIL. |
| WOOD: | USE THE PORTLAND CEMENT PORT AND LATH OVER BLOCK, TYPICAL. BRICK, TILES TO THRESH, PLANK FINISHES. FINISHES TO BE SPECIFIED IN LIST OF FINISHES. USE BOTH ALUMINUM AND BRASS INTERFERING AND NON-INTERFERING AT EXTERIOR WALLS. EXTENDED 1/2" x 1/2" AT VERTICAL PLANE. | WATER AND S.S.: | ALL DOWNSPUTS SHALL BE CORT. S.S. EXCEPT AND THE DOWNSPUTS SHALL BE CORT. S.S. |
| | | VENTS: | VENTS PROVIDE FIRE BLOCKING AS SHOWN BETWEEN ATTIC SPACE AND GARAGE COURT FOR FACTORY BUILT CORPERS FOR U.S. SECTION 100.1. FIRE BLOCKING SHALL BE CONSTRUCTED FOR U.S. SECTION 100.1. |

ATTIC VENTILATION

AREA	VENT TYPE	VENT AND MODEL	VENT FREQ. AREA	AREA
ATTIC AREA	1,200 SQ. FT.			
REQUIRED VENTILATION	1/2" x 1/2" x 1/2"			
PROPOSED VENTILATION	1/2" x 1/2" x 1/2"			
VENT TYPE	TYPE AND MODEL	VENT FREQ. AREA	AREA	
UPPER VENT	BAYBORN	20 SQ. IN.	2	
LOWER VENT	BAYBORN	20 SQ. IN.	2	



ROOF PLAN 113B
SCALE 1/4" = 1'-0"

ARCHITECTS • PLANNERS

RINA

1000 JEFFERSON
SUNBELT ROAD, P.O. BOX 1000
405 TERRY AVENUE
MIRAMONTE, CALIFORNIA 92689 USA

PLAN 113 LW

JTS COMMUNITIES
340 MARCONI BLVD. # 100
SACRAMENTO, CA 95811

EXTERIOR
ELEVATIONS
AND
ROOF PLAN

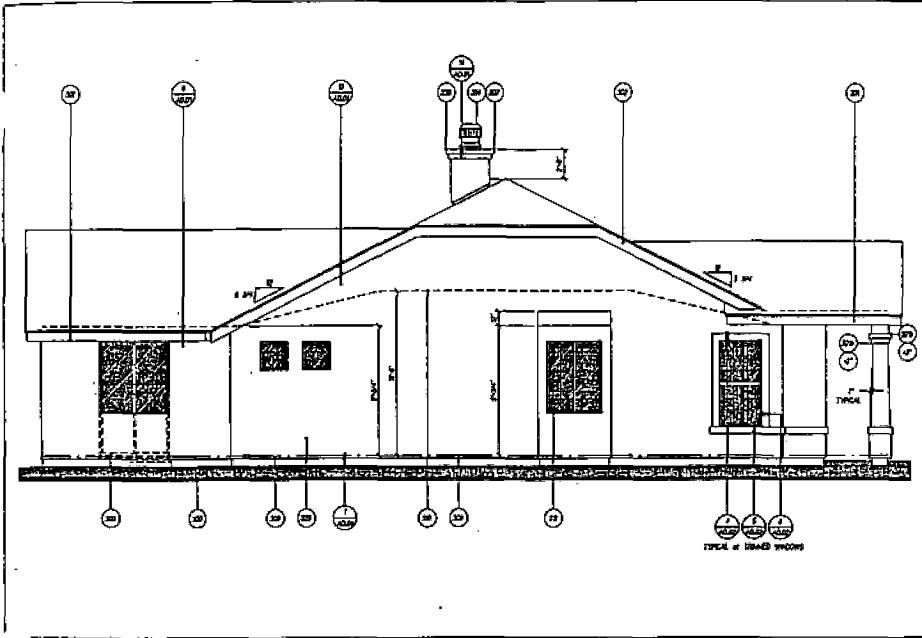
PLAN 113 LW

DATE: OCTOBER 8, 1991
SCALE: AS SHOWN

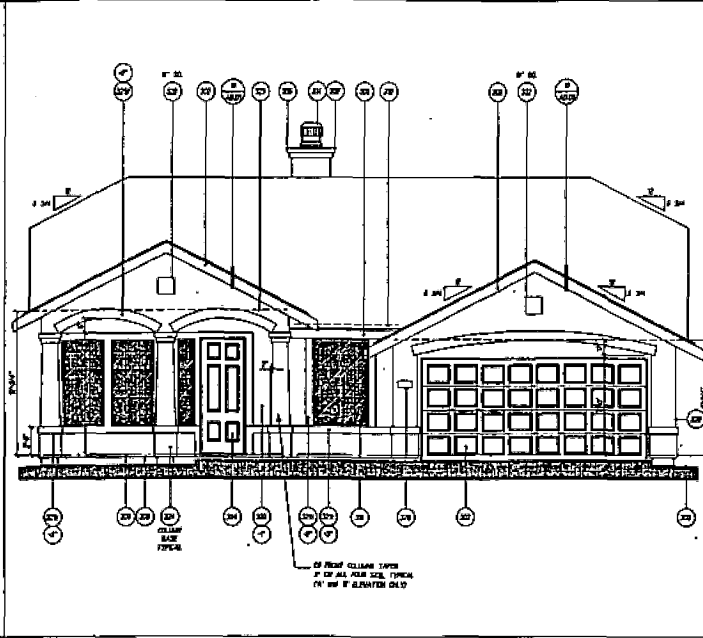
A-15

BLDG DEPT 2ND SUBMITTAL SET

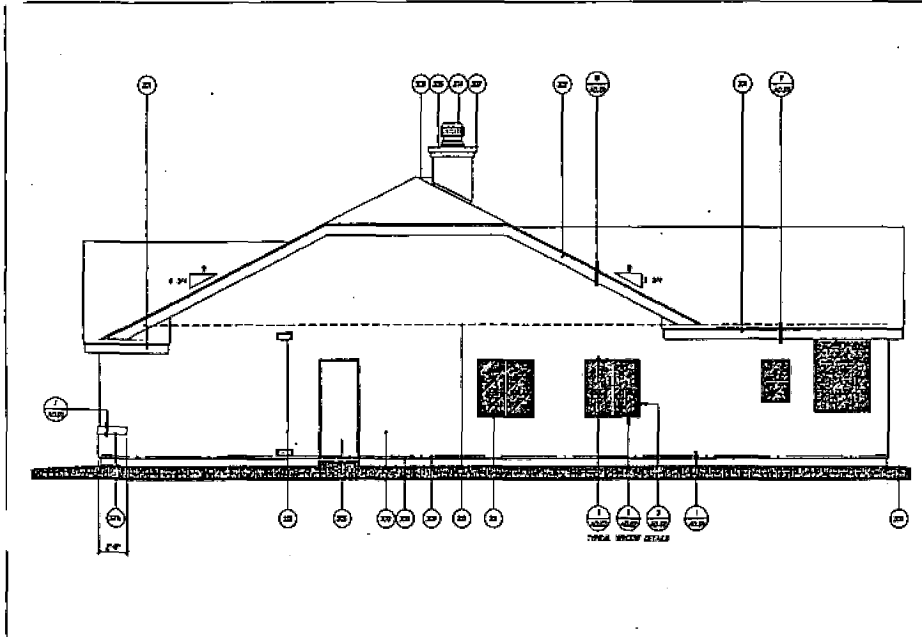
Exhibit 5(b) - Plan 113, elevations



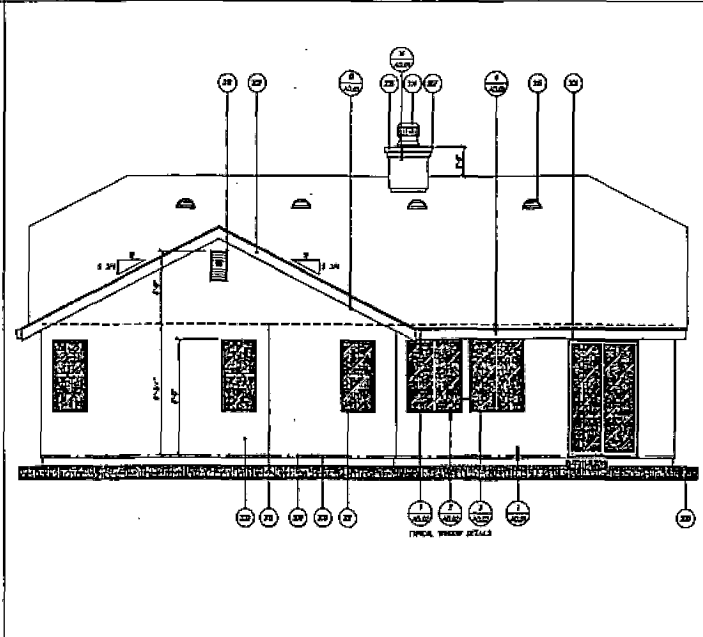
LEFT SIDE EXTERIOR ELEVATION 'A'



FRONT EXTERIOR ELEVATION 'A'



RIGHT SIDE EXTERIOR ELEVATION



REAR EXTERIOR ELEVATION 'A'

KEYNOTES

- 230 APPLICABLE FINISHES SHOWN ELSEWHERE
- 231 1" W/ BALANCED METAL FLASH WATER - PAINTED INSIDE AT EXTERIOR LOCATIONS
- 232 2" W/ BALANCED METAL FLASH WATER WITH FLE
- 233 METAL FLASHING WATER STOP
- 234 FINISH PAINT, BOTH SIDES
- 235 DOOR IS FINISH
- 236 2" W/ BALANCED METAL FLASHING WATER STOP
- 237 BALANCED METAL FLASHING AT CHIMNEY - PAINTED
- 238 2" W/ BALANCED METAL FLASHING WATER STOP
- 239 FINISH PAINT LINE
- 240 CEILING TOP PAINT LINE FINISH
- 241 WINDOWS SHALL BE INSULATED GLASS ALUMINUM FRAME WITH 1/2" INSULATION - NORMAL WITH BRICK JOINTS
- 242 2" W/ BALANCED METAL FLASHING WATER STOP
- 243 2" W/ BALANCED METAL FLASHING WATER STOP
- 244 2" W/ BALANCED METAL FLASHING WATER STOP
- 245 2" W/ BALANCED METAL FLASHING WATER STOP
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- 298 2" W/ BALANCED METAL FLASHING WATER STOP
- 299 2" W/ BALANCED METAL FLASHING WATER STOP
- 300 2" W/ BALANCED METAL FLASHING WATER STOP

City of Orem - ONE DAY DESIGN POLICY

This is the program to be used for the design of the exterior elevations of the building. It is intended to be used for the design of the exterior elevations of the building.

1. THE APPLICATOR SHALL PROVIDE A COPY OF THE APPLICATOR'S REPORT FOR THE DESIGN REVIEW PROCESS. THIS REPORT SHALL INCLUDE THE EXTERIOR ELEVATION AND A COPY OF THE EXTERIOR ELEVATION FOR A ONE DAY DESIGN POLICY.
2. ALL THE SYSTEMS TYPICALLY REQUIRE THAT A ONE DAY DESIGN POLICY BE PROVIDED BETWEEN THE SUBMITTED DRAWINGS AND THE TIME FINISH IS PAID FOR. THIS DOES NOT COVER ALL CASES OF DESIGN REVIEW. THE ONE DAY DESIGN POLICY IS THE ONE DAY DESIGN POLICY. THE ONE DAY DESIGN POLICY IS THE ONE DAY DESIGN POLICY.
3. THE FINISH IS TO BE USED IN THE DESIGN REVIEW AND SHALL BE PROVIDED AS PER THE ONE DAY DESIGN POLICY. THE ONE DAY DESIGN POLICY IS THE ONE DAY DESIGN POLICY.
4. ALL WALLS SHALL HAVE A MINIMUM FINISH, AND SHALL BE PROVIDED AS PER THE ONE DAY DESIGN POLICY. THE ONE DAY DESIGN POLICY IS THE ONE DAY DESIGN POLICY.
5. ALL EXTERIOR WALLS SHALL BE PROVIDED WITH A MINIMUM FINISH, AND SHALL BE PROVIDED AS PER THE ONE DAY DESIGN POLICY. THE ONE DAY DESIGN POLICY IS THE ONE DAY DESIGN POLICY.
6. THE METAL FLASHING SHALL BE PROVIDED AS PER THE ONE DAY DESIGN POLICY. THE ONE DAY DESIGN POLICY IS THE ONE DAY DESIGN POLICY.
7. ALL WALL PENETRATIONS, IE. APPROXIMATELY, OR OTHER TYPE OF OPENING IN THE EXTERIOR WALLS, SHALL BE PROVIDED AS PER THE ONE DAY DESIGN POLICY. THE ONE DAY DESIGN POLICY IS THE ONE DAY DESIGN POLICY.
8. THE FINISH IS TO BE USED IN THE DESIGN REVIEW AND SHALL BE PROVIDED AS PER THE ONE DAY DESIGN POLICY. THE ONE DAY DESIGN POLICY IS THE ONE DAY DESIGN POLICY.
9. IF A APPLICATOR'S REPORT IS REQUIRED FOR THE DESIGN REVIEW, THE APPLICATOR SHALL PROVIDE A COPY OF THE APPLICATOR'S REPORT, WITH DATES, DATES AND COMMENTS FOR THE DESIGN REVIEW PROCESS.

J. M. R.
ARCHITECTURE

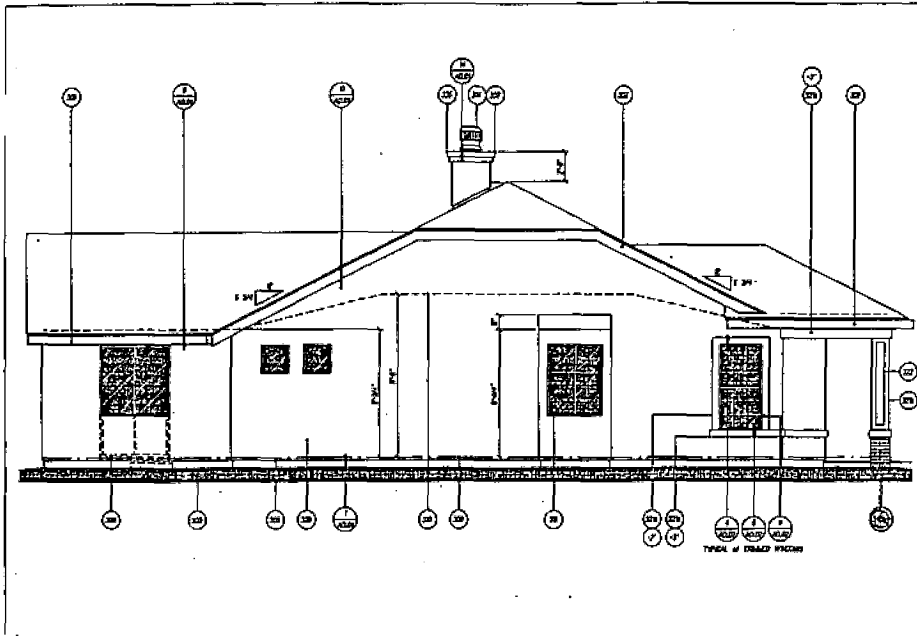
700 SOUTH AVENUE, SUITE 200
SALT LAKE CITY, UT 84143
(801) 487-8887

J.T.S. COMMUNITIES
ALL PROPERTIES
1500 MARQUETTE AVENUE, SUITE 100
SALT LAKE CITY, UT 84143
(801) 487-8887

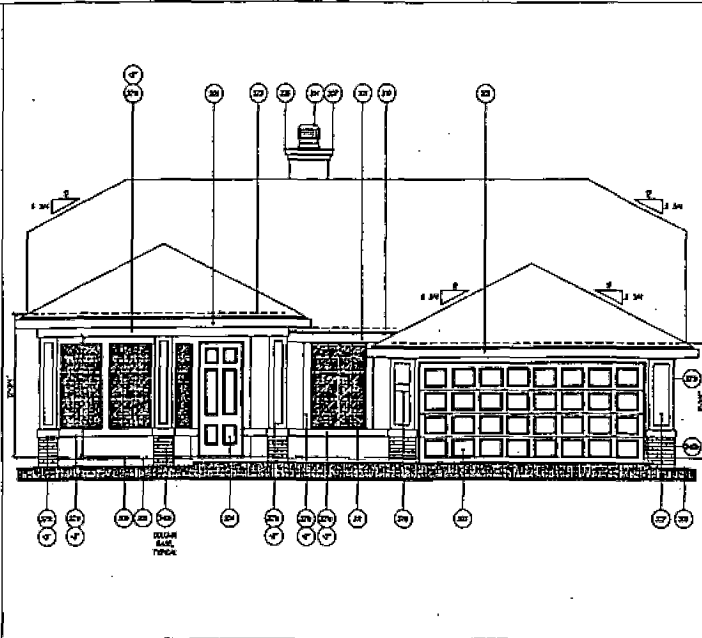
104-J

'A'
Exterior
Elevations

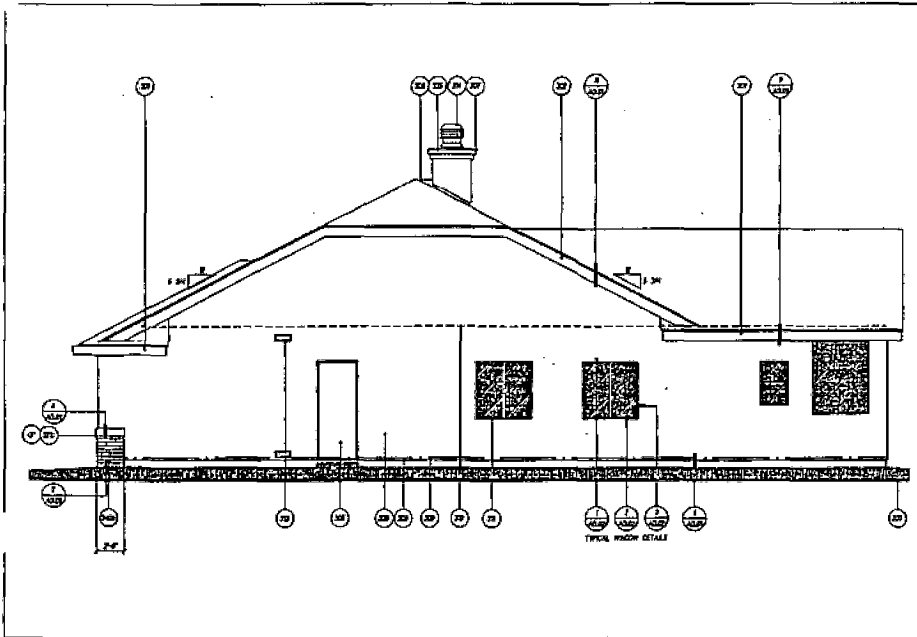
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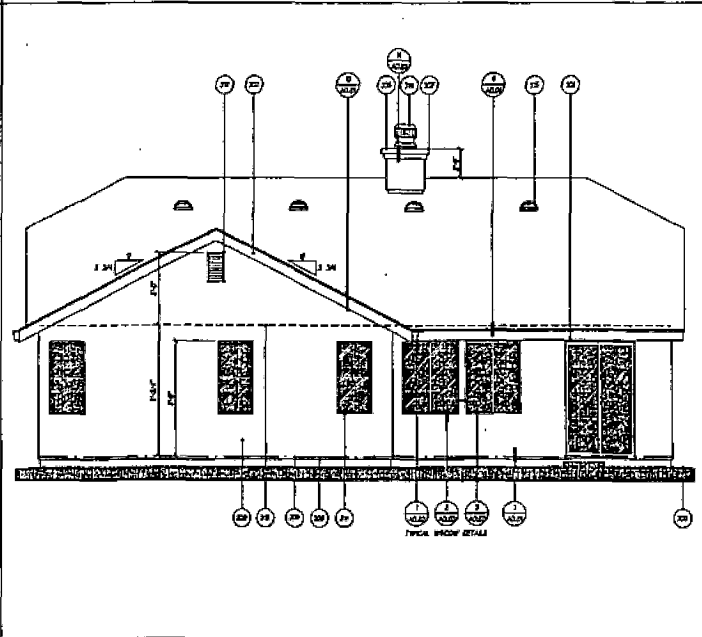
LEFT SIDE EXTERIOR ELEVATION 'D'



FRONT EXTERIOR ELEVATION 'D'



RIGHT SIDE EXTERIOR ELEVATION 'D'



REAR EXTERIOR ELEVATION 'D'

KEYNOTES

- 01 APPROXIMATE FINISH GRADE ELEVATION
- 02 7" W/ BALANCED METAL FLASHING SYSTEM - MATCH ROOF AT ALL CORNER LOCATIONS
- 03 2" INSULATION W/ 1/2" Gypsum Board
- 04 1/2" Gypsum Board
- 05 1/2" Gypsum Board
- 06 1/2" Gypsum Board
- 07 1/2" Gypsum Board
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- 36 1/2" Gypsum Board
- 37 1/2" Gypsum Board
- 38 1/2" Gypsum Board

City of San Jose - THE CITY ENGINEER

This is to be provided to be used for the purposes of the City and County of San Jose and is not to be used for any other purpose.

1. THE APPLICANT SHALL PROVIDE A COPY OF THE CURRENT AND REPORT FOR THE SYSTEM WITHIN PROVIDED THE ALIGNED OF THE PROJECT TO THE CITY ENGINEER FOR A REVIEW OF THE PROJECT FOR A CITY ENGINEER.

2. ALL THE EXTERIOR TYPICAL WALLS SHALL BE A 1/2" W/ 1/2" INSULATION W/ 1/2" Gypsum Board FROM ROOF TO CEILING AND THE ROOF SHALL BE 1/2" Gypsum Board IN ALL CASES THE LAMINATE SHALL NOT BE USED UNLESS THE 1/2" W/ 1/2" IS PROVIDED FOR THE USE OF INSULATION FOR THE PURPOSES OF THE LAW IN ALL OF THESE.

3. ALL ROOF TO BE USED SHALL BE OF THE HIGHEST GRADE AND SHALL BE PAINTED AT THE END OF THE ROOF TO BE PROTECTED WITH OVER PAINT WALLS OF GOOD FINISHED SURFACES.

4. ALL WALLS SHALL HAVE A DAMPEN PANE, WITH DAMPEN WALLS ARE APPLIED, THE OTHER SURFACE SHALL BE COVERED TO PROTECT A DAMPEN PANE FOR AN ALTERNATE TO BE APPLIED.

5. ALL FINISHES SHALL BE USED WITH THE UNDERLAYER A MINIMUM OF 3/8", THE SAME IS TO BE USED FOR CEILING AND WINDOW FRAMES TO BE APPLIED SHALL BE USED IN ALL OF THE EXTERIOR WALLS AT ALL LEVELS.

6. ONLY METAL 1/2" INSULATION IS NOT ACCEPTABLE FOR THESE WALLS UNLESS THE FINISHES OF FINISHES THAT DO NOT COMPLY WITH THE 1/2" W/ 1/2" INSULATION.

7. ALL ROOF PENETRATIONS IS APPROXIMATE, IN OTHER PARTS OF FINISHES IN WALLS SHALL BE PROVIDED TO MATCH WITH THE CALLS AS PROVIDED IN THE END REPORT AND THE WALLS SHALL BE FINISHED TO BE QUALIFIED FROM THE LAMINATE.

8. THE WALLS TO BE FINISHED OF THE FINISHES INSIDE WALLS, ALL WALLS TO BE FINISHED SHALL BE FINISHED WITH A FINISHES APPROVED BY THE SYSTEM MANUFACTURER, SEE END REPORT.

9. IT IS APPROVED THAT THE CITY ENGINEER SHALL BE PROVIDED WITH THE FINISHES APPROVED BY THE SYSTEM MANUFACTURER, SEE END REPORT.

J.M.R. ARCHITECTURE
 1000 MARIN AVENUE, SUITE 200
 SAN JOSE, CALIFORNIA 95128
 (415) 777-0087
 jmr@jmrarch.com

J.T.S. COMMUNITIES
 ALL PROPERTIES
 1534 MARCOON AVENUE, SUITE 'A'
 SACRAMENTO, CALIFORNIA 95833
 (916) 487-3434

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9. IT IS APPROVED THAT THE CITY ENGINEER SHALL BE PROVIDED WITH THE FINISHES APPROVED BY THE SYSTEM MANUFACTURER, SEE END REPORT.

SCALE: 1/4" = 1'-0"

FILE: 104-J

D' Exterior Elevations

AE04

DATE	11-1-58
PLAN NO.	119-1W
PROJECT	JTS COMMUNITIES
ARCHITECT	BLOODGOOD SHARP BUSTER ARCHITECTS PLANNERS, INC.

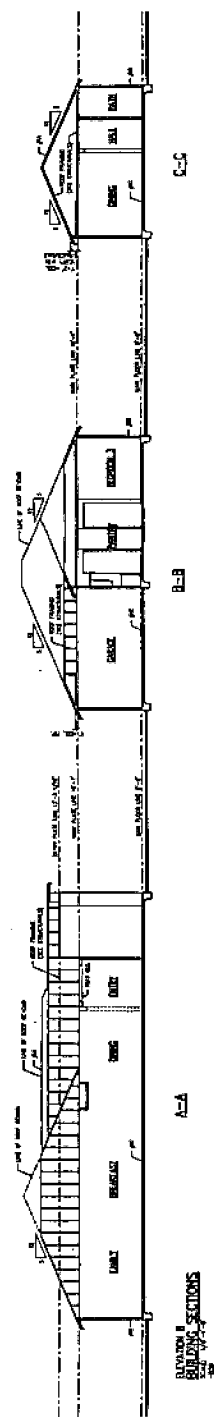
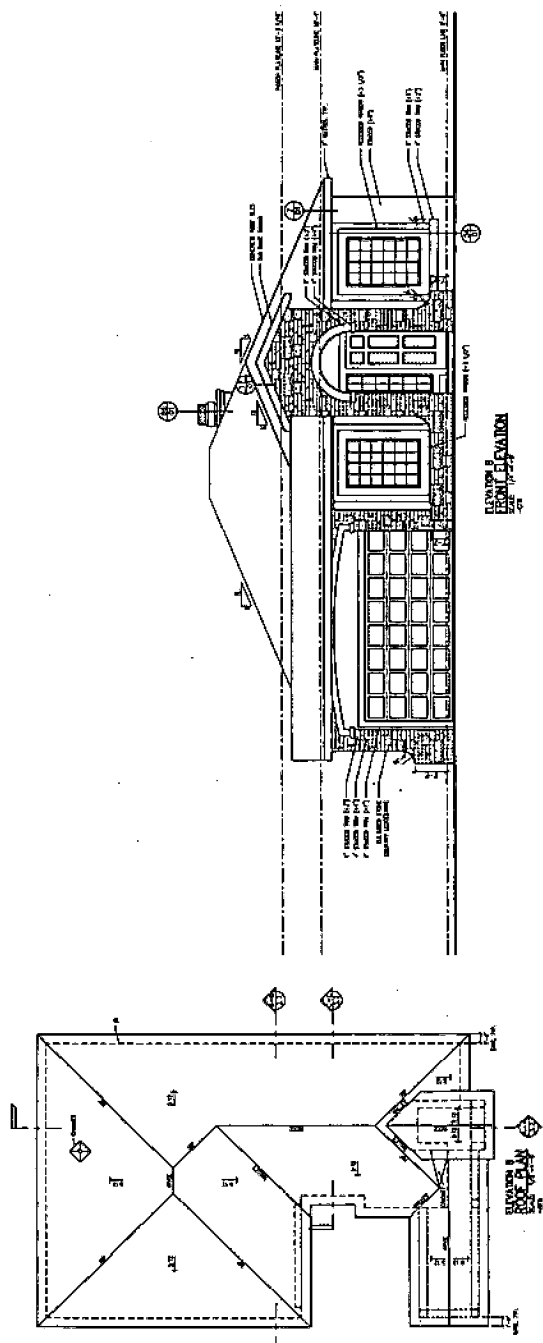
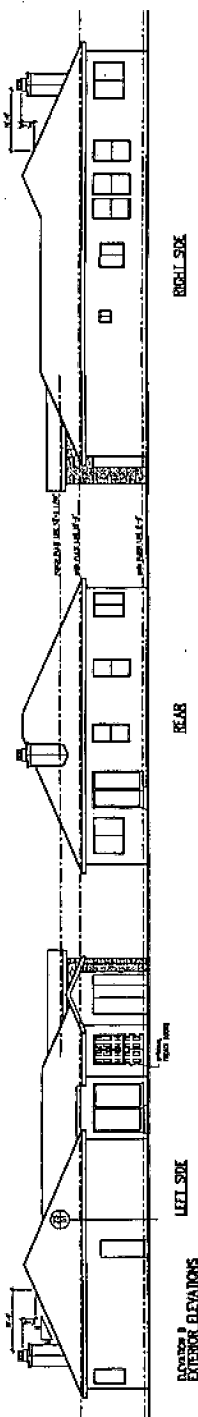
PLAN 119-1W

BLOODGOOD SHARP BUSTER ARCHITECTS PLANNERS, INC.
 344 MARCONI AVENUE SUITE A
 OAKLAND, CALIFORNIA 94612
 TEL: 415-763-1100



GENERAL NOTES:

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
3. ALL MATERIALS AND WORKMANSHIP TO BE AS SHOWN ON THE SPECIFICATIONS.
4. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
5. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND THE NATIONAL MECHANICAL CODE.
6. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PLUMBING CODE AND THE NATIONAL GAS CODE.
7. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
8. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING ORGANIZATION (NBO) CODES.
9. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF ARCHITECTS (NAA) CODES.
10. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF ENGINEERS (NAE) CODES.
11. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF CONTRACTORS (NAC) CODES.
12. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF MANAGERS (NAM) CODES.
13. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF PROFESSIONALS (NAP) CODES.
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15. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF ARTS AND LETTERS (NAL) CODES.
16. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF HUMANITIES (NAH) CODES.
17. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF SOCIAL SCIENCES (NASS) CODES.
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19. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF LIFE SCIENCES (NALS) CODES.
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51. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF SCIENTISTS (NAS) CODES.
52. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF PHYSICAL SCIENCES (NAPS) CODES.
53. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF LIFE SCIENCES (NALS) CODES.
54. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF EARTH AND PLANETARY SCIENCES (NAEPS) CODES.
55. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF AGRICULTURAL SCIENCES (NAAS) CODES.
56. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF ENVIRONMENTAL SCIENCES (NAES) CODES.
57. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF HEALTH SCIENCES (NAHS) CODES.
58. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF BEHAVIORAL SCIENCES (NABS) CODES.
59. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF PSYCHOLOGICAL SCIENCES (NAPS) CODES.
60. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF EDUCATIONAL SCIENCES (NAES) CODES.





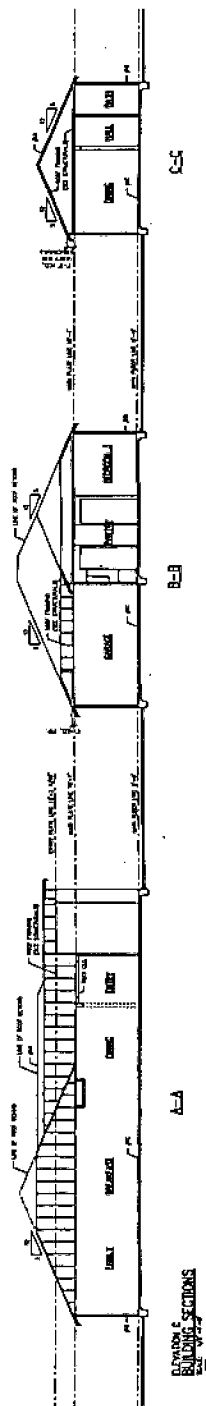
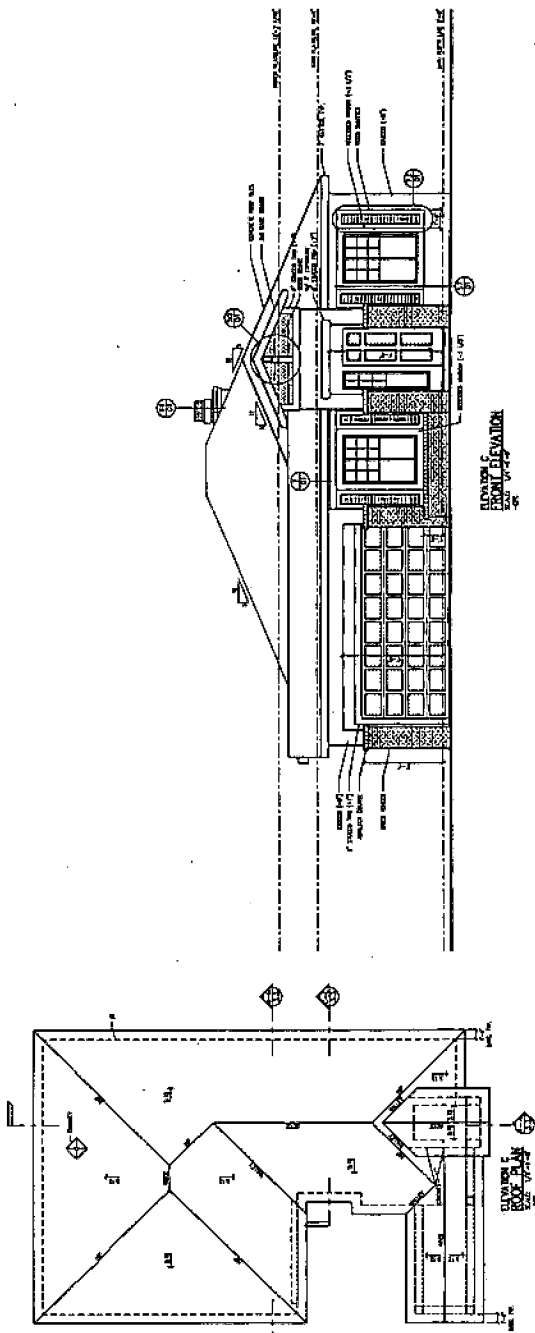
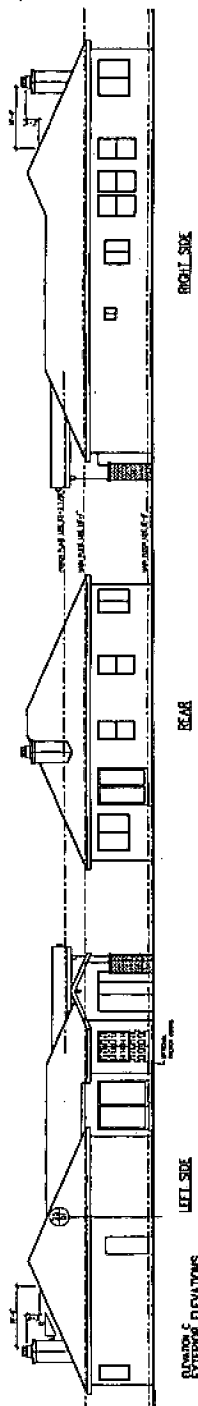
BLOODGOOD SHARP BUSTER
ARCHITECTS & PLANNERS, INC.
1000 MARSHFIELD AVENUE, SUITE 100
OAKLAND, CALIFORNIA 94612
TELEPHONE (415) 764-1100

PLAN 119-LW

JTS COMMUNITIES
1000 MARSHFIELD AVENUE, SUITE 100
OAKLAND, CALIFORNIA 94612
TELEPHONE (415) 764-1100

DATE	11/11/88
BY	JTB
CHECKED BY	JTB
SCALE	AS SHOWN
PROJECT NO.	119
CLIENT	JTS COMMUNITIES
LOCATION	1000 MARSHFIELD AVENUE, SUITE 100, OAKLAND, CALIFORNIA

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE 1991 CALIFORNIA BUILDING CODE.
4. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING LANDSCAPE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING TREES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PLANTS.



SECTION & BUILDING SECTIONS



PLAN 119-LW

JTS COMMUNITIES

404 MARION AVENUE, SUITE A
DUBLIN, CALIFORNIA 94568
TEL: (925) 835-1100

BLDGGOOD SHARP BUSTER
ARCHITECTS & PLANNERS, INC.
17200 RAYBURN DRIVE, SUITE 100
DUBLIN, CA 94568
TEL: (925) 835-1100

SQUARE FOOTAGES	
TOTAL	1,200
RESIDENTIAL	1,100
COMMON	100
OFFICE	0
STORAGE	0
MECHANICAL	0
OTHER	0

1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE IN FEET ONLY.

2. FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.

3. ALL WALLS ARE TO BE 1/2" THICK UNLESS OTHERWISE NOTED.

4. ALL FLOORS ARE TO BE 4" CONCRETE ON 2" GYPSUM BOARD UNLESS OTHERWISE NOTED.

5. ALL CEILING ARE TO BE 8' HIGH UNLESS OTHERWISE NOTED.

6. ALL DOORS ARE TO BE 36" WIDE UNLESS OTHERWISE NOTED.

7. ALL WINDOWS ARE TO BE 60" WIDE UNLESS OTHERWISE NOTED.

8. ALL CLOSETS ARE TO BE 48" WIDE UNLESS OTHERWISE NOTED.

9. ALL BATHS ARE TO BE 5'6" WIDE UNLESS OTHERWISE NOTED.

10. ALL KITCHENS ARE TO BE 10' WIDE UNLESS OTHERWISE NOTED.

11. ALL LIVING AREAS ARE TO BE 12' WIDE UNLESS OTHERWISE NOTED.

12. ALL BEDROOMS ARE TO BE 12' WIDE UNLESS OTHERWISE NOTED.

13. ALL HALLS ARE TO BE 4' WIDE UNLESS OTHERWISE NOTED.

14. ALL STAIRS ARE TO BE 4' WIDE UNLESS OTHERWISE NOTED.

15. ALL PORCHES ARE TO BE 4' WIDE UNLESS OTHERWISE NOTED.

16. ALL GARAGES ARE TO BE 12' WIDE UNLESS OTHERWISE NOTED.

17. ALL EXTERIOR WALLS ARE TO BE 8" CMU UNLESS OTHERWISE NOTED.

18. ALL EXTERIOR ROOFS ARE TO BE 2" POLYSTYRENE INSULATION ON 4" CONCRETE UNLESS OTHERWISE NOTED.

19. ALL INTERIOR WALLS ARE TO BE 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED.

20. ALL INTERIOR FLOORS ARE TO BE 4" CONCRETE ON 2" GYPSUM BOARD UNLESS OTHERWISE NOTED.

21. ALL INTERIOR CEILING ARE TO BE 8' HIGH UNLESS OTHERWISE NOTED.

22. ALL INTERIOR DOORS ARE TO BE 36" WIDE UNLESS OTHERWISE NOTED.

23. ALL INTERIOR WINDOWS ARE TO BE 60" WIDE UNLESS OTHERWISE NOTED.

24. ALL INTERIOR CLOSETS ARE TO BE 48" WIDE UNLESS OTHERWISE NOTED.

25. ALL INTERIOR BATHS ARE TO BE 5'6" WIDE UNLESS OTHERWISE NOTED.

26. ALL INTERIOR KITCHENS ARE TO BE 10' WIDE UNLESS OTHERWISE NOTED.

27. ALL INTERIOR LIVING AREAS ARE TO BE 12' WIDE UNLESS OTHERWISE NOTED.

28. ALL INTERIOR BEDROOMS ARE TO BE 12' WIDE UNLESS OTHERWISE NOTED.

29. ALL INTERIOR HALLS ARE TO BE 4' WIDE UNLESS OTHERWISE NOTED.

30. ALL INTERIOR STAIRS ARE TO BE 4' WIDE UNLESS OTHERWISE NOTED.

31. ALL INTERIOR PORCHES ARE TO BE 4' WIDE UNLESS OTHERWISE NOTED.

32. ALL INTERIOR GARAGES ARE TO BE 12' WIDE UNLESS OTHERWISE NOTED.

33. ALL EXTERIOR WALLS ARE TO BE 8" CMU UNLESS OTHERWISE NOTED.

34. ALL EXTERIOR ROOFS ARE TO BE 2" POLYSTYRENE INSULATION ON 4" CONCRETE UNLESS OTHERWISE NOTED.

35. ALL INTERIOR WALLS ARE TO BE 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED.

36. ALL INTERIOR FLOORS ARE TO BE 4" CONCRETE ON 2" GYPSUM BOARD UNLESS OTHERWISE NOTED.

37. ALL INTERIOR CEILING ARE TO BE 8' HIGH UNLESS OTHERWISE NOTED.

38. ALL INTERIOR DOORS ARE TO BE 36" WIDE UNLESS OTHERWISE NOTED.

39. ALL INTERIOR WINDOWS ARE TO BE 60" WIDE UNLESS OTHERWISE NOTED.

40. ALL INTERIOR CLOSETS ARE TO BE 48" WIDE UNLESS OTHERWISE NOTED.

41. ALL INTERIOR BATHS ARE TO BE 5'6" WIDE UNLESS OTHERWISE NOTED.

42. ALL INTERIOR KITCHENS ARE TO BE 10' WIDE UNLESS OTHERWISE NOTED.

43. ALL INTERIOR LIVING AREAS ARE TO BE 12' WIDE UNLESS OTHERWISE NOTED.

44. ALL INTERIOR BEDROOMS ARE TO BE 12' WIDE UNLESS OTHERWISE NOTED.

45. ALL INTERIOR HALLS ARE TO BE 4' WIDE UNLESS OTHERWISE NOTED.

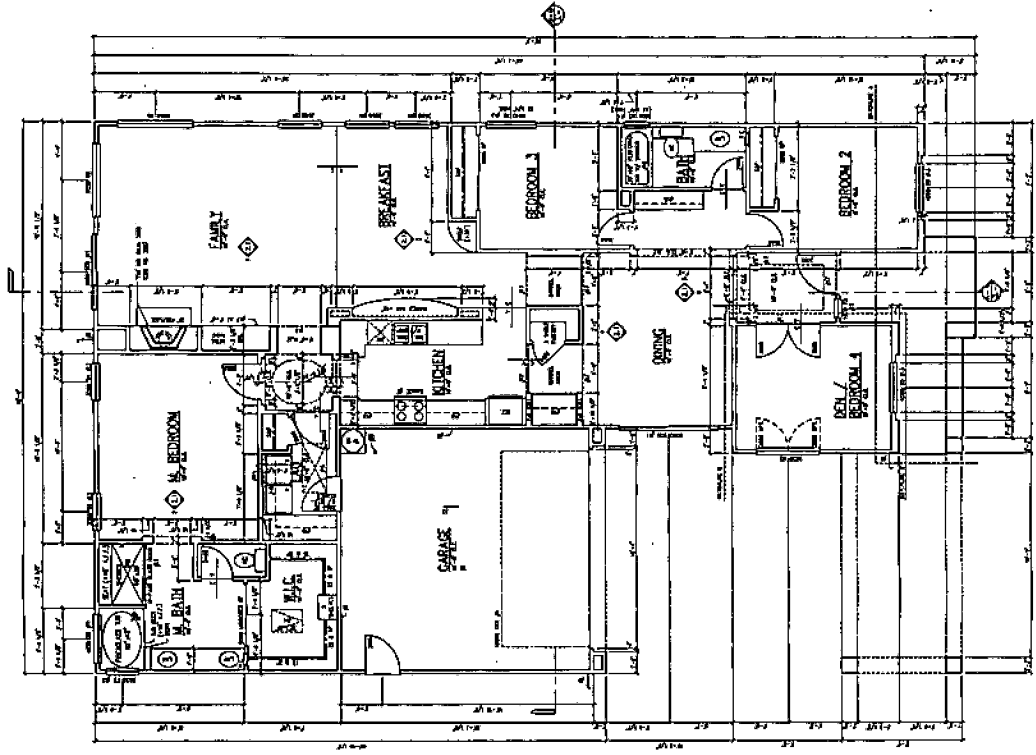
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47. ALL INTERIOR PORCHES ARE TO BE 4' WIDE UNLESS OTHERWISE NOTED.

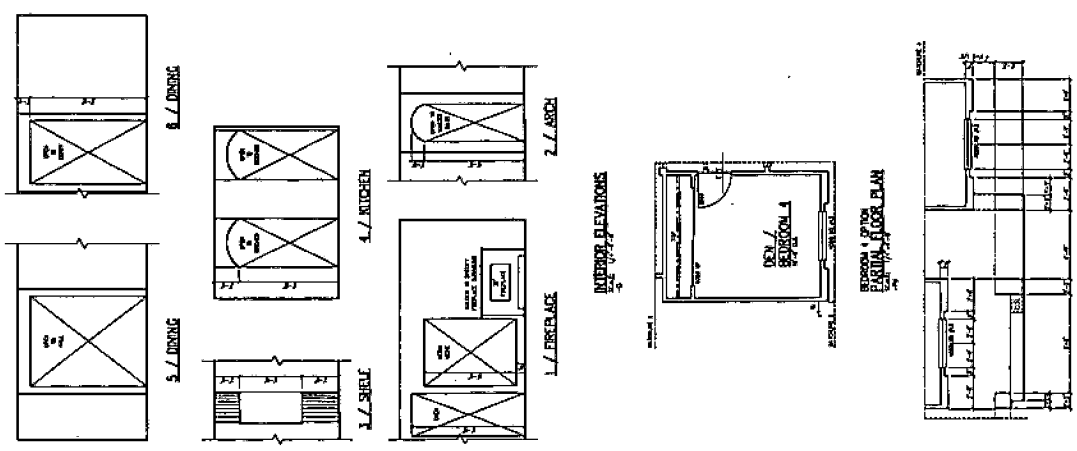
48. ALL INTERIOR GARAGES ARE TO BE 12' WIDE UNLESS OTHERWISE NOTED.

49. ALL EXTERIOR WALLS ARE TO BE 8" CMU UNLESS OTHERWISE NOTED.

50. ALL EXTERIOR ROOFS ARE TO BE 2" POLYSTYRENE INSULATION ON 4" CONCRETE UNLESS OTHERWISE NOTED.



RESIDENTIAL UNIT FLOOR PLAN

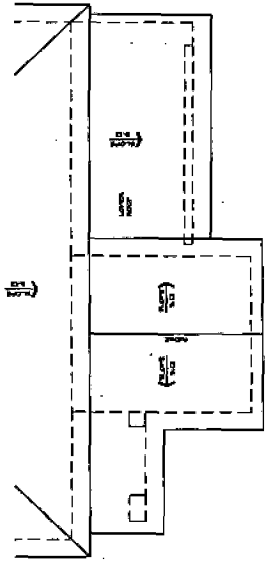


INTERIOR ELEVATIONS

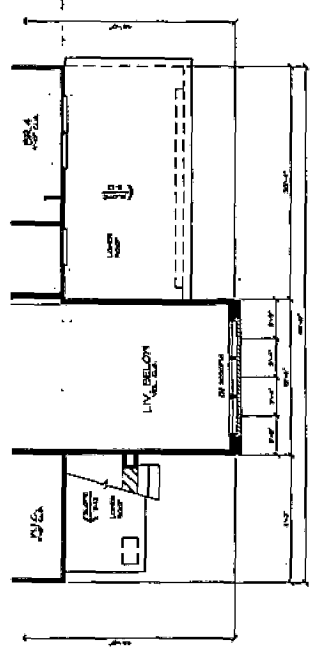
DEN / BEDROOM 4 SECTION

DEN / BEDROOM 4 SECTION

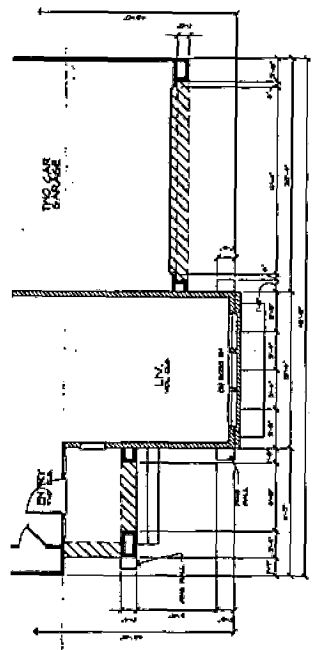
NO.	DESCRIPTION	DATE
1	PREPARED BY ARCHITECT	10/15/78
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	
11	REVISION	
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50	REVISION	



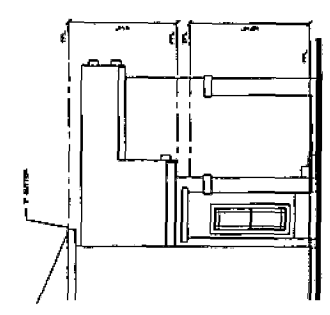
ROOF PLAN ISA



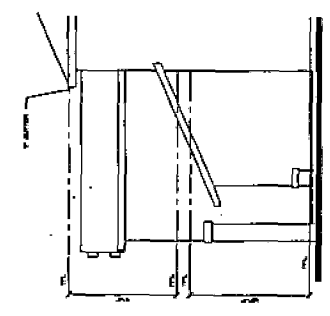
UPPER FLOOR PLAN ISA



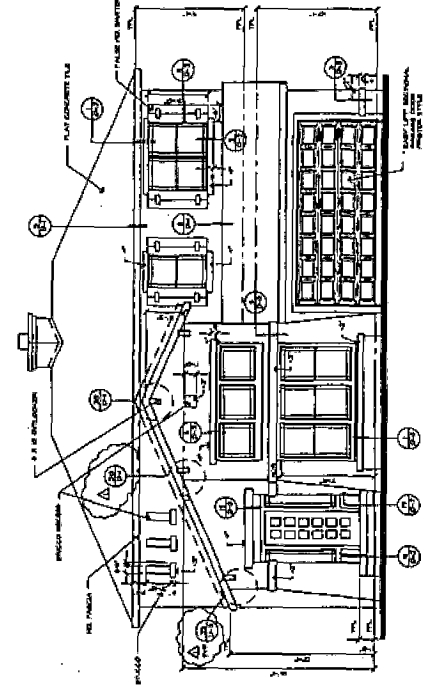
LOWER FLOOR PLAN ISA



PARTIAL LEFT ELEVATION ISA



PARTIAL RIGHT ELEVATION ISA



FRONT ELEVATION ISA

PLS. DEPT. AND SUBMITTAL SET

ARCHITECTS • PLANNERS
 1000 15th St. N.E.
 Seattle, WA 98102
 PHONE: 206-325-1100
 FAX: 206-325-1101



PLAN 115 LW

ITS COMMUNITIES
 300 W. NORTH 36th St.
 SEASIDE, WA 98148

PARTIAL FLOOR PLAN, ROOF PLAN

PLAN 115 LW

A-14

BLDG. DEPT. 2ND SUBMITTAL SET

JTS COMMUNITIES
 100 JACOBSON BLDG.
 CHICAGO, IL 60601

PLAN 116 LW
 DATE: 05/01/00
 DRAWN BY: JTS

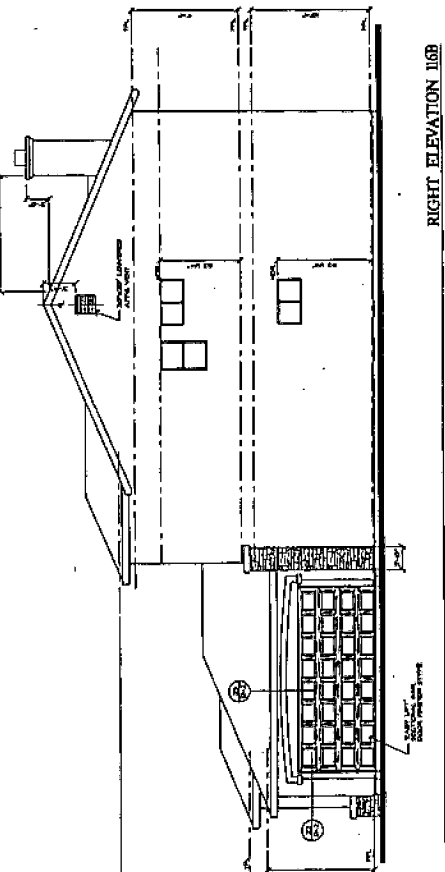
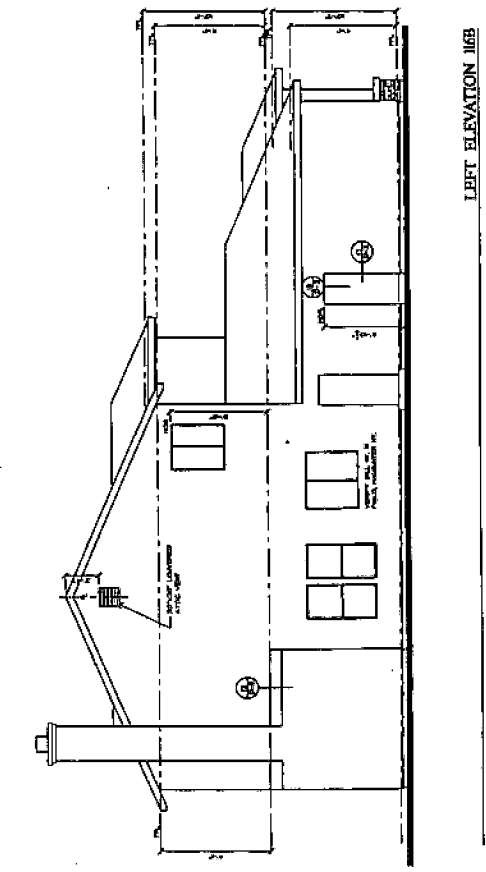
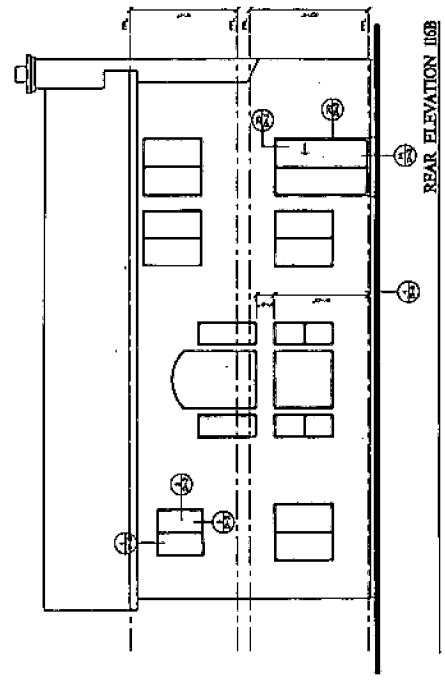
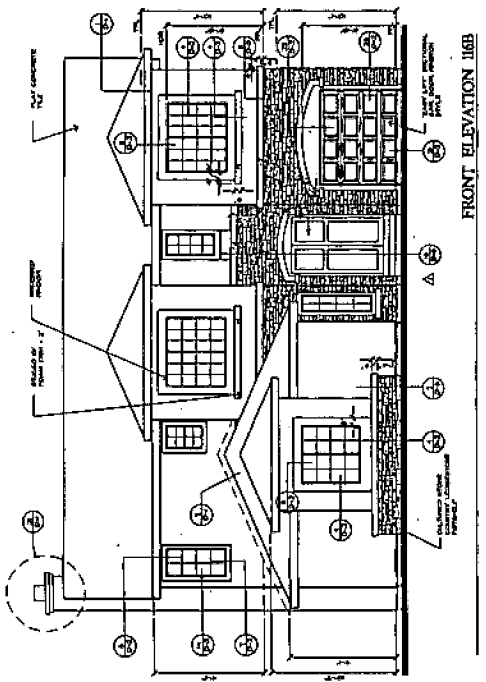
A 15



ARCHITECTS + PLANNERS
 440 N. LAUREL ST.
 CHICAGO, IL 60610

PLAN 116 LW

NO.	DESCRIPTION
1	FOUNDATION
2	CONCRETE
3	BRICK
4	WOOD
5	GLASS
6	ROOFING
7	MECHANICAL
8	ELECTRICAL
9	PLUMBING
10	PAINT
11	FINISHES
12	LANDSCAPE
13	DETAILS
14	NOTES



ATTIC VENTILATION
 PROVIDE AT LEAST ONE (1) SQUARE FOOT OF VENTILATION PER 100 SQUARE FEET OF ATTIC SPACE.
 PROVIDE AT LEAST ONE (1) SQUARE FOOT OF VENTILATION PER 100 SQUARE FEET OF ATTIC SPACE.
 PROVIDE AT LEAST ONE (1) SQUARE FOOT OF VENTILATION PER 100 SQUARE FEET OF ATTIC SPACE.

NOTES:
 1. REFER TO ARCHITECT'S PLAN 116 FOR ALL DIMENSIONS AND FINISHES.
 2. REFER TO ARCHITECT'S PLAN 116 FOR ALL DIMENSIONS AND FINISHES.
 3. REFER TO ARCHITECT'S PLAN 116 FOR ALL DIMENSIONS AND FINISHES.
 4. REFER TO ARCHITECT'S PLAN 116 FOR ALL DIMENSIONS AND FINISHES.
 5. REFER TO ARCHITECT'S PLAN 116 FOR ALL DIMENSIONS AND FINISHES.



November 29, 1999

Ms. Cindy Moreno
 Project Manager
 JTS Communities, Inc.
 3434 Marconi Ave., Suite A
 Sacramento, CA 95821

**RE: Design Review – JTS – Natomas Park
 Northpointe 11**

Dear Cindy:

The plans you submitted for Northpointe 11 have been reviewed by the Natomas Park Design Review Committee. We would like to compliment you on these plans. The attention to detail on the elevations and garage layouts will be a unique addition to Natomas Park. The submitted items, listed below, are approved with the following conditions:

Floor plans & Elevations

Floor plans are approved as submitted.

Exterior elevations approved with following conditions:

1. Plan 103 will be limited to five of the ten lots that back up to the elementary school (Conner Circle).
2. Homes with back or sides to streets, parks, open space and schools need to continue trim along visible side of house, as noted on plans. Please provide "pop-outs" around windows and doors rather than a change in paint color and stucco scoring.
3. Materials shall wrap on the sides of the homes, as noted on the plans.
4. The accent materials shown on plans are to be standard materials, not options.
5. Driveways shall have a pattern of score lines that will create a pleasing texture compatible with the architecture.

In addition to these conditions, we recommend that any roof projections (i.e.: vents, pipes) be located in the back of the home, not visible from the street.

Landscape Plans

Approved, see additional comments on landscape plans.

Site/Lot Plans – Including lot coverage, setbacks and building square footage

Site/Lot plans are approved with the following conditions:

1. Please provide revised typical plot plans to reflect the required setbacks, ie: porches at 16' (except Plan 119 which is allowed at 15'), front yard setback for living area at 18', second story elements at 20'.

2. Due to the 115' depth of lots 50-57 on Crest Drive, please provide an additional 3' building setback for each of those homes.
3. The bonus option on Plan 116 is not allowed.

We believe that the appearance of the streetscape is a critical element in achieving an attractive community. For this reason, we request that you stagger your home setbacks to create an open and diverse streetscape.

Exterior colors and Materials

Exterior colors and masonry samples are approved as submitted. Roof tile samples must be provided for approval.

Please be aware that the adopted guidelines require diversity in streetscape, i.e.: variation of colors and elevations. Please provide evidence during the project development of achieving the required diversity.

Your model home complex site plan, neighborhood identification signage and/or monumentation is also subject to approval by the NPDRC. Please submit for review when available.

Your plans were reviewed for compliance with the Design Review Handbook. You are responsible to ensure that the plans are in compliance with the City of Sacramento Zoning Code and all applicable building codes. Compliance with the City of Sacramento Zoning Code includes compliance with building setback and lot coverage standards.

For your reference, please find enclosed the garage mitigation compliance form and a checklist that we used during our review. Please give me a call should you have any questions.

Respectfully,

LENNAR COMMUNITIES

Don Barnett

Don Barnett
Community Planning Manager

Cc: DRC file

By signing below, you acknowledge your acceptance of these comments and conditions, and you agree to comply with them.

Cindy Moreno
Cindy Moreno

12/1/99
Date

GARAGE MITIGATION COMPLIANCE

BUILDER/NEIGHBORHOOD: JTS- Northpointe 11

% compliance
of total
of homes

ELEVATION PLAN	A	B	C	D	
103	living area forward	living area forward	living area forward		100%
108	recessed garage, portico	recessed garage, portico	recessed garage, portico		100%
119	recessed garage, portico	recessed garage, portico	recessed garage, portico		100%
113	recessed garage, portico	recessed garage, portico	recessed garage, portico		100%
104	porch in front of garage	porch in front of garage	porch in front of garage		100%
116	side loaded garage	side loaded garage	side loaded garage		100%
115	living area forward, tandem garage	living area forward, tandem garage	living area forward, tandem garage		100%

TOTAL COMPLIANCE %:

100%

DESIGN REVIEW CHECKLIST

BUILDER:

JTS

VILLAGE:

Northpointe Village 11

ARCHITECTURAL ITEMS

ok Porches

Minimum size 5 ft. deep x 8 ft. long

ok Garages

If 3 or more cars, garage doors not in same plane

All garage doors shall have minimum 6" recess from frame

ok Roof Pitch

Minimum shall be 5 ft. vertical in 12 ft. horizontal

ok Material Changes

Changes must occur at reverse corners or return on a side wall towards the privacy screen

Side wall return shall be no less than 4 ft, unless material being used to create column effect

LANDSCAPE ITEMS

APPROVED AS SUBMITTED - SEE ADDITIONAL NOTES ON PLANS

FRONT YARD:

OK Street Trees

One 15-gal per 30 linear ft. of street, 4 ft. from back of walk

OK Ground Cover Edge

At least 3 laminated 3/8" x 4" redwood benderboard

OK Ground Cover to Turf

2/3 front yard turf, 1/3 ground cover and shrubs

OK Accent Tree

One per front yard, min. 15 gal.

OK Specimen Shrubs

Min. one per front yard, min. 5 gal.

OK Foundation and Accent Shrub Mix

Min. 20 per front yard, min. 1 gal.

Ground Cover from Flats
Max. spacing 12" on center

Turf from Sod
Dwarf Fescue, Bluegrass Blend 95/5

Decorative Bark
Required in all ground cover areas, max. size 3/4"

SIDE YARD:

Accent Trees
Min. 3 per side yard, min. 15 gal.

Specimen Shrub
Min. 1 per side yard, min. 5 gal.

Ground Cover
Max. spacing 12" on center

Turf from Sod
Dwarf Fescue, Bluegrass Blend 95/5

Decorative Bark
Max. size 3/4"

SITE/LOT PLAN ITEMS

SETBACKS:

Porch
Min. 16 ft. from front property line
Plan 119 - porch setback shall be 15'

Front of Building
Min. 18 ft. from front property line, excluding porch

Side Yard
Min. 5 ft. on each side (Bay windows, fireplaces, etc. may encroach 2 ft.)
Min 10 ft. sideyard yard setback adjacent to street

Rear Yard
Min. 15 ft.

Garage
Min. 20 ft. from property line for front or street side driveways
Min. 16 ft. from property line for side entry garages

Projections and Bays n/a
Can encroach up to 3 ft. into front yard building setback
Can encroach up to 2 ft. into side yard building setback
Not allowed within the min. 14 ft. setback.

Screening and Fences
Fences adjacent to park site, open space or school - galvanized steel posts
Fence attachment to pilasters on corners: 90 degree, then 45 degree to fence extended from house
typical wood fence shown ok, to be consistent with pgs. 28-29 of Design Review Handbook,
including stain to be determined at a later date.

ADDITIONAL APPROVAL LETTER ITEMS:

- XXX List submittal items still needed
- Garage mitigation needed, if any
- XXX Homes with back or side to streets need to continue trim along visible side of house
- Wall and fence conditions, if any
- XXX Driveway surface shall have pattern of score lines to create pleasing texture
- XXX Confirm that accent materials shown (i.e.: shutters, columns, trim, siding, etc.) are standard, not options

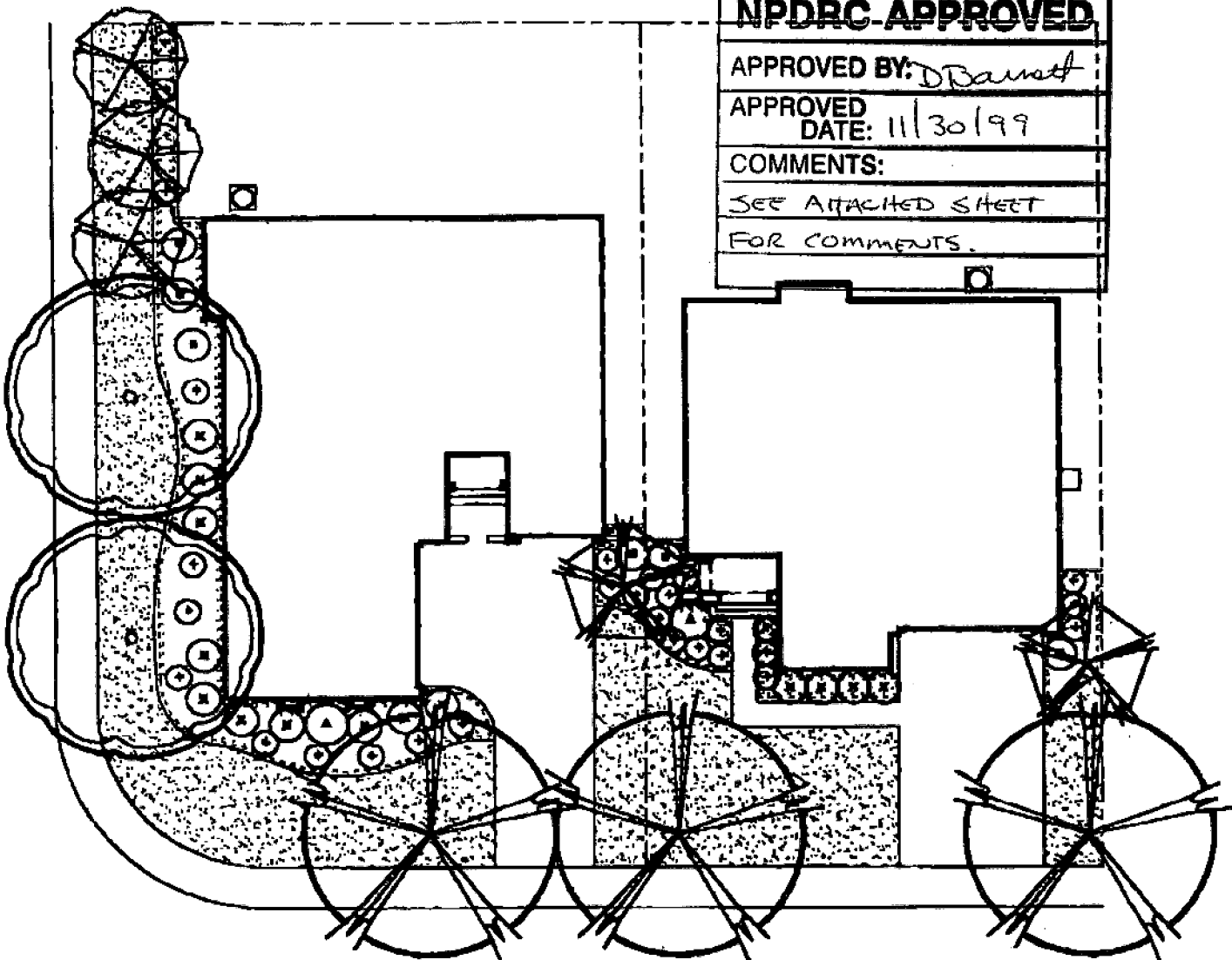
NPDRC-APPROVED

APPROVED BY: *D Barnett*

APPROVED DATE: 11/30/99

COMMENTS:

SEE ATTACHED SHEET FOR COMMENTS.



LEGEND

STREET TREE 1



ACCENT TREE



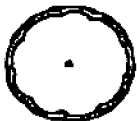
5 GAL. SPECIMEN SHRUB



GROUND COVER



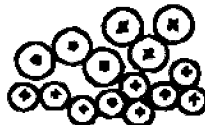
STREET TREE 2



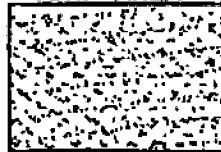
SIDE YARD ACCENT



1 GAL. SHRUBS



TURF AREA



ALL TREES SHALL BE 15 GALLON SIZE

TYPICAL STREETScape PLAN

SCALE: 1" = 20'

JTS COMMUNITIES

NOV. 1999



Landscape Plan Comments- JTS Northpoint 11

- 1) See Street Tree Species Plan (pages 35-36 of Builders Design Guidelines) for specific species of street trees required.
- 2) Plant materials to be consistent with Recommended Plant Materials List in Builders Design Guidelines.
- 3) Fence design and materials shall be consistent with pages 28-29 of Builders Design Guidelines.
- 4) Corner side yard fence shall be set back a minimum of 10 feet from sidewalk.
- 5) Quantity and size of plant materials shall be consistent with Builders Design Guidelines.

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD
LETTER OF AGREEMENT**

P99-146: JTS COMMUNITIES – NORTHPOINTE PARK VILLAGE 11

PROJECT NAME/FILE #: JTS Communities – Northpointe Park
Village 11 (76 Units total), P99-146

ASSESSOR'S PARCEL NUMBER(S): 225-1060-012

ZONING: R-1A-PUD

APPLICANT'S NAME/ADDRESS: JTS Communities, Inc. (Cindy Moreno / Scott Schriber)
3434 Marconi Avenue, Sacramento, CA 95821
(916) 487-3434; fax (916) 487-3815

I, Cindy Moreno, Project Coordinator (please print and include title), agree to amend the project application, P99-146, to incorporate the attached PDSP Conditions of Approval dated January 27, 2000.

I acknowledge that this project, P99-146, is subject to these PDSP Conditions of Approval. These PDSP Conditions of Approval will establish responsibilities for the monitoring of my project by various City Departments, and by other public agencies under the terms agreed upon in the PDSP Conditions of Approval. I understand that the PDSP Conditions of Approval for my project may require the expenditure of owner/developer funds where necessary to comply with the provisions of said PDSP Conditions of Approval.

Signature Cindy Moreno

Title Project Coordinator

Date 2/2/00