



CITY OF SACRAMENTO
CALIFORNIA

PLANNING AND BUILDING
DEPARTMENT
(916) 264-5381

1231 I STREET
ROOM 300
SACRAMENTO, CA
95814-2998

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD**

FILE: P00-126

PREVIOUS FILE NUMBER(S): P96-058 (Northpointe Park Planned Unit Development)
P98-133 (Northpointe Park and Northborough PUD
Guideline Amendments)

PROJECT NAME: Lennar Renaissance in Northpointe Park Village 9

PROJECT LOCATION: The West Side of the Intersection of Crest Drive and Ainger
Circle

ASSESSOR'S PARCEL NUMBER(S): 225-1060-017

APPLICANT'S NAME/ADDRESS: Lennar Renaissance Inc. (Joe Schwartz)
2240 Douglas Boulevard #250
Roseville, CA 95661
(916) 773-4083

APPROVAL: This Planning Director's Special Permit (PDSP) approval is for 58 lots in Northpointe Park Village 9, within the Northpointe Park Planned Unit Development (PUD). Additional PDSP will be required for future development of other villages. After approval of the PDSP, the following entitlements are required, prior to construction of the residential development: 1) Building Permits. (An existing model home complex will be used for this new approval.)

PROJECT INFORMATION:

Zoning:	R-1B-PUD	Range in House Size:	1,475 to 2,382 s.f.
Typical Lot Dimensions:	45 feet x 105 feet	Range in Price:	\$152,000 to 202,000
Typical Lot Size:	4,725 square feet	Number of Models:	4 (plus options)
Number of Lots:	58 lots	Number of Elevations:	3
Gross Acres:	8.2± acres	Number of Color Palettes:	4 (per elevation)
Net Acres:	6.6± acres		
Net Density:	8.8 du/na		

BACKGROUND: The Northpointe Park Planned Unit Development (PUD) was approved by City Council on February 4, 1997 (P96-058). Previous entitlements included a Development Agreement, General Plan and 1994 North Natomas Community Plan amendments, Rezoning, PUD Designation, Tentative Master Parcel Map, Tentative Map, and Subdivision Modifications related to street standards and alleys. In approving the PUD Guidelines, the Council determined that a Planning Director's Special Permit (PDSP), in lieu of a Planning Commission Special Permit, would be the appropriate means of review and approval for single family / two family residential development with the PUD, provided that the PDSP application was consistent with PUD Guidelines. The Northpointe Park PUD was subsequently amended on January 21, 1999 (P98-133) to establish in the R-1 PUD and R-1A PUD zones, lot coverage percentage different from the Zoning Ordinance regulations pertaining to lot coverage.

The applicant is requesting approval of a Planning Director's Special Permit for four previously approved single family house plans on 58 lots within Northpointe Park Village 9, of the Northpointe Park PUD. The previous approval was for the same four house plans on 123 lots in the Parkway Plaza Villages 2 and 4 (P99-012) approved on February 12, 1999.

PROJECT DETAILS:

House Plans: Please see Table 1 below for information regarding each house plan. The square footage given is the total living space as provided by the applicant. Also note that a negative value under Garage Recess indicates that the garage projects out in front of the house instead of being recessed; and a negative value under Porch Projection indicates that the porch (or covered entry, as the case may be) is recessed behind the forward most living space rather than projecting out in front.

**Table 1
HOUSE PLANS**

	House Plan Model Number	Square Footage	No. of Stories	No. of Bedrms	Garage Stalls	Max House Dims		Garage Recess	Porch Projection
						(width)	(depth)		
1	131	1475	1	3	2	37	65.83	-11.00	11.50
2	132	1665	1	4	2	37	71.67	-2.00	7.83
3a	133	1968	2	4	2	37	52.67	-2.75	-5.42
3b	133X	2137	2	4/5	2	37	52.67	-2.75	-5.42
4a	134	2157	2	3/4	3	37	61.83	-5.25	8.00
4b	134X	2345	2	4/5	2	37	61.83	-5.25	8.00
4c	135	2192	2	3/4	3	37	61.83	-5.25	8.00
4d	135X	2382	2	4/5	2	37	61.83	-5.25	8.00

Other features and options of the house plans include:

1 - 131: Smallest single story home; The two car garage projects in front of living room; There is a porch area, located in front of the living room, which projects in front of the garage.

2 - 132: Largest single story home; The two car garage projects slightly in front of the living room; There is a porch area, located in front of the living room, which projects in front of the garage. Options: There is a fourth bedroom option for the den area.

- 3a - 133:** Smallest two story home; The two car garage projects in front of the living room and has a 10'-4½" x 14' storage area to the rear.; There is a porch area, recessed behind the garage, which is located in front of the living room.
- 3b - 133X:** Same plan as 133 except the storage space to the rear of the garage is converted into a den/bedroom 5.
-
- 4a - 134:** Two story home; There is a two car garage with a tandem bay to the rear, which project slightly in front of the living room; There is a porch area, in front of the living room, which projects in front of the garage. Options: There is a loft option for bedroom 3.
- 4b - 134X:** Same plan as 134, except the tandem bay area to the rear of the garage is now a fifth bedroom.
- 4c - 135:** Same first floor plan as 134; Second floor layout is different (master bedroom, master bathroom, and master walk-in closet layout has changed).
- 4d - 135X:** Same plan as 135, except the tandem bay area to the rear of the garage is now a fifth bedroom.

All four house plans, as described in the table above, have been previously approved for 123 lots in Parkway Plaza Villages 2 and 4 (P99-012). The new application (P00-126) proposes to duplicate these same house plans, without modification, on 58 lots in Northpointe Park Village 9. The new subdivision is not immediately adjacent to the previous approval, but is separated by the East Drainage Canal and Natomas Boulevard (see vicinity map); so there is no danger of creating a large expanse of similarity as a result of the approval of this new application.

Models: The home builder is currently modeling these house plans in the Parkway Plaza Villages 2 and 4 and intends to continue using their existing model home complex as their sales center. The model homes are located on lots 46-49 of Parkway Plaza Units 2 and 4, on the northwest corner of New Hampshire Way and Sherington Way.

Please see the previous staff report for Parkway Plaza Villages 2 and 4 (P99-012) for additional details and exhibits describing and illustrating the four house plans.

Elevations, Materials, and Colors: Three elevations are provided for each house plan. These elevations will be continued in Northpointe Village 9 as previously approved for Parkway Plaza Villages 2 and 4 (P99-012). The same four color palettes for each elevation provided for the previous approval in Parkway Plaza will be offered again for Northpointe Village 9, with the same veneer and roofing materials. Enhanced side and rear elevations will be required as conditioned, whenever these elevations face a public street, park, canal, or other public space.

Height, Setbacks, and Lot Coverage: One and two story homes are proposed for all lots in the subdivision, which is in compliance with the maximum of two stories allowed by the amended PUD Guidelines.

Setbacks: Dimensions of the typical lot size in Northpointe Park Village 9 are 45 feet wide by 105 feet deep, which is the same as the previous approval for Parkway Plaza Villages 2 and 4 (P99-012). The minimum setbacks required by the Northpointe Park PUD Guidelines are shown in Table 2 below:

**Table 2
SETBACKS**

Minimum Setbacks	Front	Rear	Side	Street Side
Living Area	17.5	15	5	12.5
Porch	12.5	15	5	12.5
Garage*	20	15	5	N/A

* Minimum driveway length for front-entry garages is 20 feet.

The proposed house plans submitted will fit on any lot in the subdivision with respect to setbacks.

Lot Coverage: The lot coverages shown in Table 3 below were calculated based on the minimum lot size of 4725 square feet, using the total footprint area, which includes all first floor living space, garage, and front porch areas.

**Table 3
LOT COVERAGE**

		GROUND FLOOR AREAS (SF)				
	House Plan Model Number	Living Space	Garage Area	Front Porch	Total Footprint	% Lot Coverage
1	131	1475	414	130	2019	43%
2	132	1665	403	130	2198	47%
3a	133*	993	636	98	1727	37%
3b	133X*	1162	467	98	1727	37%
4a	134*	1192	593	112	1897	40%
4b	134X*	1380	405	112	1897	40%
4c	135*	1192	593	112	1897	40%
4d	135X*	1382	405	112	1899	40%

* two story homes

The maximum lot coverage allowed is 60%. All of the house plans submitted will fit on the typical lot without exceeding the maximum lot coverage allowed, and there are no lots within the subdivision that are less in area than the typical lot.

Corner Lots: There are six (6) corner lots in Northpointe Park Village 9 (see exhibit 1). Any of house plans submitted are acceptable on corner lots, as long as setback and lot coverage requirements are met.

Street Trees, Landscaping, Fencing and Walls: Street trees, landscaping, and fencing within Northpointe Village 9 will be in accordance with the Northpointe Park PUD Guidelines and as conditioned in this approval. There is nothing unusual about the requirements in this village that need special mention or consideration. Masonry walls are not required anywhere in this village.

ENVIRONMENTAL REVIEW:

Negative Declaration and Mitigation Monitoring Plan: On February 4, 1997, the City Council ratified a Negative Declaration for the original project (P96-058). Potentially significant environmental issues regarding Animal Life, Noise, Land Use, and Cultural Resources were discussed and mitigated in this document. The proposed project was analyzed in this previous environmental document. No new issues or new information is known that would trigger additional environmental analysis. Section 15162 of the California Environmental Quality Act Guidelines provides that an additional Negative Declaration (or Environmental Impact Report) need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. A Mitigation Monitoring Plan was prepared for the mitigation measures identified in the previous Negative Declaration. The applicant shall comply with the Mitigation Monitoring Plan, when applicable to the proposed project.

Air Quality Mitigation Strategy: The master developer of Northpointe Park, which includes this village, has submitted an Air Quality Mitigation Plan. The Plan was adopted by Planning and Public Works. Pursuant to the plan, the homebuilder of these villages is responsible for the following mitigation measures: 1) Participate in the North Natomas Transportation Management Association (TMA); 2) Install low nitrogen oxide emitting, and/or high efficiency water heaters; 3) Install gas or electric outlets in the backyard; 4) Install energy efficient dual-pane windows, and/or energy efficient windows treated with reflective coatings; and 5) Provide new homeowners with information regarding alternative travel modes.

COMMENTS:

Public Notice was mailed to adjacent property owners by the applicant on September 11, 2000. No comments have been received in response to the public notice. Review of the project plans was completed by the Natomas Park Design Review Committee (NPDR) on September 5, 2000, with the condition that the previous conditions for Parkway Plaza Village 2 shall apply, provided in the letter from Don Barnett of Lennar Communities (attached as Exhibit 14). The project plans were originally presented by the applicant to the Natomas Community Association on May 23, 2000, where they were well received.

Staff finds that the proposed house plans comply with all applicable General Plan, Community Plan, and Zoning Ordinance requirements, and are consistent with the Northpointe Park PUD Guidelines and Schematic Plan.

ACTION: The Planning Director approves the requested Planning Director's Special Permit based on the following findings and subject to the following conditions:

Findings:

1. The proposed residential development is consistent with the objectives of the General Plan and the 1994 North Natomas Community Plan in that:
 - o the project is consistent with the General Plan land use designations;
 - o the project is consistent with the 1994 North Natomas Community Plan land use designations;
 - o the project is consistent with policies related to land use, including residential densities and open space proximity;

- the project begins to develop planned North Natomas neighborhoods each focused on an elementary school, with a variety of housing densities and types, and commercial, civic, transit, and park uses close by; and
 - the project advances City transportation management and air quality goals.
2. The proposed residential development is consistent with the adopted PUD Guidelines and Schematic Plan for the Northpointe Park PUD in that the housing designs provided comply with requirements related to setbacks, height, and lot coverage and meet the purpose and criteria stated in the City Zoning Code, Sections 17.180.010 and 17.180.020, in that the PUD facilitates mixed residential uses designed to assure that new development is healthy and of long lasting benefit to the North Natomas community and the City; and
 3. The proposed residential development will not be detrimental to the public health, safety or welfare in that the single family residential development will be in harmony with the general purposes and intent of the City Zoning Ordinance in that the approved elevations are well-designed; and that the proposed uses will not create a negative impact on any nearby sensitive uses.

Conditions:

1. The design of the proposed house plans shall substantially conform to the plans as shown on **Exhibits 6 through 13**, and specifically:
 - a. On corner lots, the driveway shall be located away from the intersection of streets;
 - b. None of the house plans may be placed on more than two adjacent/consecutive lots, and shall be different elevations when adjacent. No more than four two-story plans may be placed on consecutive lots;
 - c. Four color palettes options shall be offered for each elevation;
 - d. Roof pitch shall be no less than a 5 to 12 pitch;
 - e. All roofing shall include end and ridge caps.
 - f. Elevation B - Traditional shall have brick veneer and horizontal wood siding as standard material and Elevation C - Craftsman shall have stone veneer as standard material.
 - g. Roof projections (i.e., vents, pipes) shall be located in the back of the home, not visible from the street, wherever possible; and
 - h. Three (3) different elevations shall be offered for each house plan, as shown on the attached Exhibits 6 thru 13.
 - i. Street side fencing on corner lots shall start at the rear corner of the house and proceed rearward from there.
 - j. On all plans with veneer, the veneer must be extended four feet around corners.

Any change in the design, materials, or colors shall be submitted to the Planning Director for review and approval.

2. Prior to development of any model homes, the applicant shall obtain a Zoning Administrator's Model Home Special Permit.
3. The applicant shall obtain all necessary building permits prior to commencement of construction.
4. The applicant shall comply with the originally approved Mitigation Monitoring Plan (P96-058) on file at the Planning Division.
5. The Planning Director's Special Permit shall expire two years from the date of approval.
6. Air Quality Mitigation: The applicant shall comply with the Northpointe Park PUD TSMAQ Plan for residential development, including but not limited to the following:
 - a. Participate in the North Natomas Transportation Management Association (TMA);
 - b. Install low nitrogen oxide emitting, and/or high efficiency water heaters;
 - c. Install gas or electric outlets in the backyard;
 - d. Install energy efficient dual-pane windows, and/or energy efficient windows treated with reflective coatings; and
 - e. Provide new homeowners with information regarding alternative travel modes.
7. Street Trees: Selection and placement of street trees shall be in accordance with the Northpointe Park PUD Guidelines, including PUD Guidelines Exhibits 10 and 11, Landscape Master Plan - Street Tree Exhibit and Street Tree Matrix, on pages 33 and 34 (Exhibit 4 and 5), and as follows:
 - a. The parcel builder shall provide and install an average of two 15-gallon size trees per lot frontage, with the trees specified in the Street Tree Matrix (Exhibit 5) of the Northpointe Park PUD Guidelines. These trees shall have an average spacing of 20' to 30' on center, as measured along the entire length of the street;
 - b. For corner lots, the exposed side yard facing the street shall also be planted with trees planted approximately 20-30' on center, as per the Street Tree Matrix (Exhibit 5) of the Northpointe Park PUD Guidelines;
 - c. If spacing is interrupted by street lights or driveways, the trees shall be re-spaced to accommodate required clearances while maintaining the required quantity of trees on average; and
 - d. Location of street trees and accent trees shall conform to City standards for sight line requirements at intersections and driveways.
8. Landscaping: All landscaping will be subject to the review of the Northpointe Park Design Review Committee (DRC), and shall be in accordance with the Northpointe Park PUD Guidelines and as follows:
 - a. Plant materials shall be consistent with Northpointe Park PUD guidelines Exhibit 12, Other Recommended Trees, Shrubs, and Groundcovers, on pages 35-37; and
 - b. All landscaping and planting shall conform to City standards for sight line requirements at intersections and driveways.
9. Fencing and Walls: All fencing and walls will be subject to the review of the Northpointe Park DRC, and shall be in accordance with the Northpointe Park PUD Guidelines and as follows:
 - a. Fences up to six feet (6'-0") from house grade are allowed except within the front setback. Within this setback, the fence shall be no greater than 3'-6" in height;

- a. Allowed front yard fencing materials include wood and wrought iron, with brick and masonry posts. No chain link is permitted;
 - b. All front yard fencing shall be required to have a minimum of 3' in front for landscaping;
 - c. Side yard fences shall be consistent with adjacent front and back fence for height, materials, and colors;
 - d. Fencing visible from public areas shall be no higher than six feet (6'-0") above the house grade, and shall be stained with semi-transparent stain in a neutral tone to be specified by the Northpointe Park DRC;
 - e. Fence design, finish and materials are to be approved by the Northpointe Park DRC. Materials used in fence construction may be the type used in the architecture of the home, such as wood, masonry, or wrought iron. No cyclone or wire fencing will be allowed;
 - f. Exposed side yard fences must be softened with hedges or other plantings, of one gallon minimum size, planted 5' on center along the entire length of the fence;
 - g. Fences shall be no higher than six feet (6'-0") above street grade;
 - h. Wooden fences shall be constructed out of a minimum of 75 percent Western Red Cedar or Redwood; and
 - i. All fencing and walls shall conform to City standards for sight line requirements at intersections and driveways.
10. Driveways: Driveways shall have a pattern of score lines that will create a pleasing texture compatible with the architecture and minimize the expanse of concrete. "Hollywood style" driveways are encouraged with a minimum 2 foot 6 inch planter strip between the two driveways. A maximum of 40% of the front yard setback area may be paved for driveways, per City Zoning code; and this calculation (including front yard setback area, driveway area within the setback, and the percent covered by driveway paving) shall be shown on all plot plans.
11. Design Enhancements on Visible Elevations: Enhanced side and rear elevations shall be required whenever either of those elevations face a public street, school, park, canal, or other public space. Six corner lots (Lots 1, 16, 29, 30, 43, and 58), two lots which side onto the East Main Drainage Canal (Lots 15 and 44), and fifteen lots which back onto open space/park (Lots 1-15) are included in this village that will require such treatments. Enhanced elevations shall include, at a minimum, "pop-outs" around windows and doors consisting of stucco over foam trim, finished with a texture that is different from the texture of the house; and a four foot return of materials on the side elevation. On enhanced side and rear elevations, window treatments, roof lines, and materials shall match the front facade in appearance and quality. All enhanced elevation treatments shall be shown on the plans submitted or building permits.
12. Garage: Each house plan shall provide at least one garage space with minimum *inside* dimensions of 10 feet wide by 20 feet long, as required by the City Zoning Ordinance.

PREPARED BY:

Arwen Wacht
Arwen Wacht, Assistant Planner

APPROVED BY:

Fred Buder
Fred Buder, Senior Planner

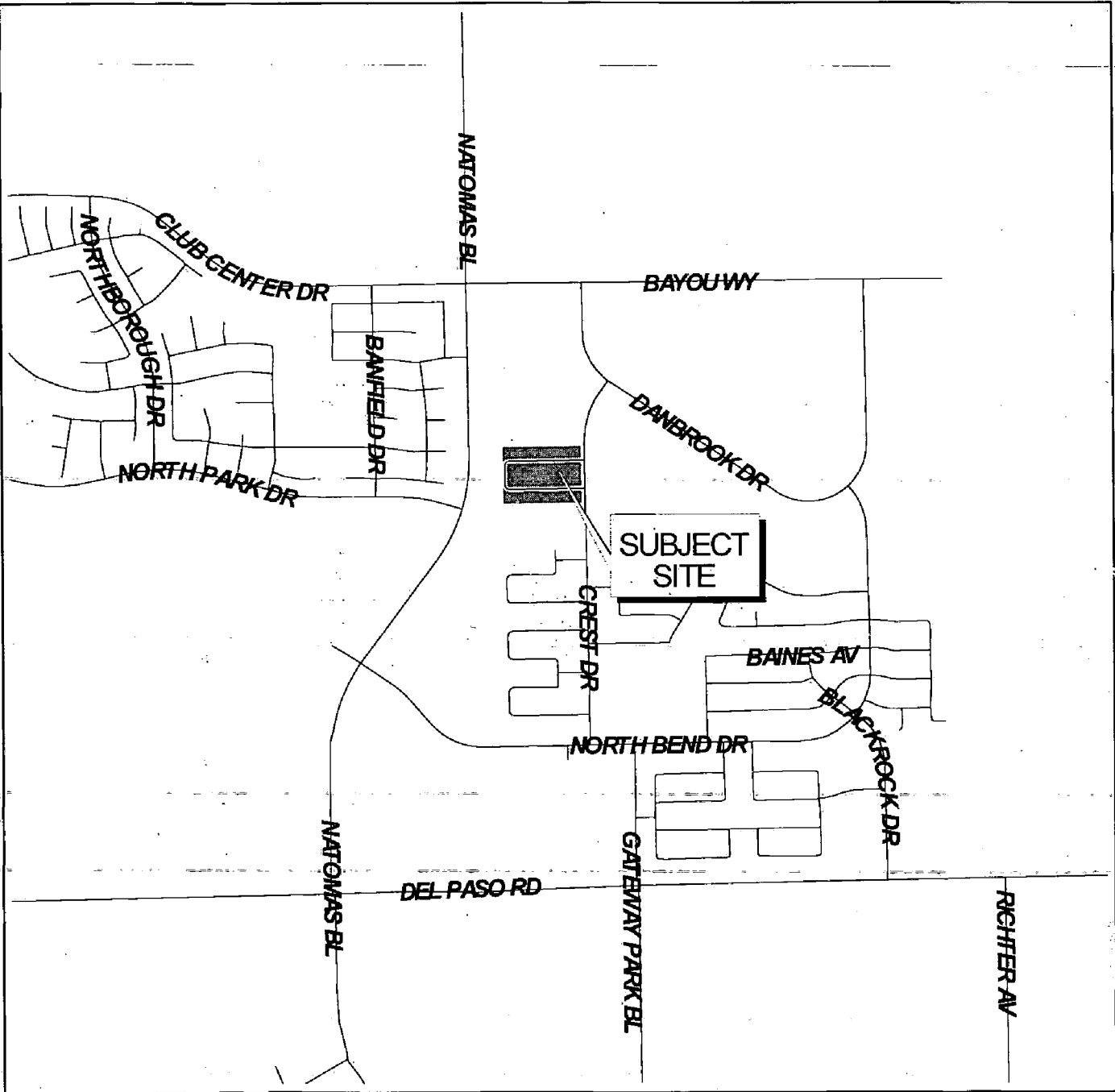
APPROVED ON:

November 1, 2000

Attachments:

- Vicinity Map
- Exhibit 1: Site Plan
- Exhibit 2: Setback Exhibit and Corner Setback Exhibit
- Exhibit 3: Typical Lot Landscaping Exhibit
- Exhibit 4: Northpointe Park PUD - Street Tree Exhibit
- Exhibit 5: Northpointe Park PUD - Street Tree Matrix
- Exhibit 6: Plan 1 - 131: (a), (b), and (c) Elevations, and (d) Floor Plan
- Exhibit 7: Plan 2 - 132: (a), (b), and (c) Elevations, and (d) Floor Plan
- Exhibit 8: Plan 3a - 133: (a), (b), and (c) Elevations, and (d) and (e) Floor Plans
- Exhibit 9: Plan 3b - 133X: (a), (b), and (c) Elevations, and (d) and (e) Floor Plans
- Exhibit 10: Plan 4a - 134: (a), (b), and (c) Elevations, and (d) and (e) Floor Plans
- Exhibit 11: Plan 4b - 134X: (a) and (b) Floor Plans (same elevations as 134)
- Exhibit 12: Plan 4c - 135: (a) and (b) Floor Plans (same elevations as 134)
- Exhibit 13: Plan 4d - 135X: (a) and (b) Floor Plans (same elevations as 134)
- Exhibit 14: Natomas Park Design Review Committee Approval Letter
- Exhibit 15: Signed Letter of Agreement

File: Original.
cc: Applicant
Development Services - Building Division (2)
PUD Binder



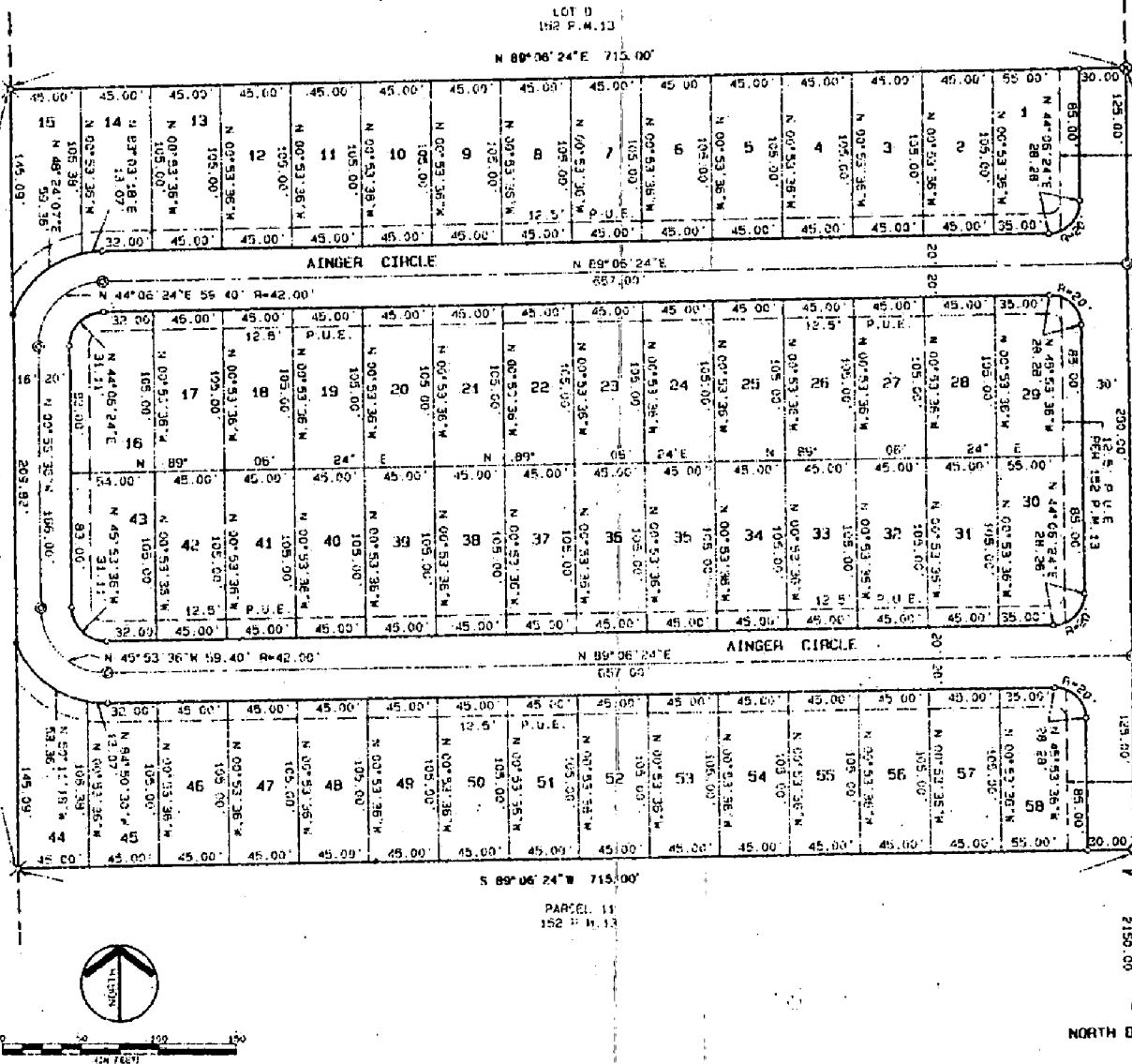
Planning & Building
Department

Geographic
Information
System

Vicinity Map P00-126



FINAL MAP OF
 NORTHPOINTE PARK UNIT NO. 9
 ALL OF PARCEL 12,
 MASTER PARCEL MAP OF
 NORTHPOINTE PARK PHASE I,
 152 P.M. 13
 CITY OF SACRAMENTO, CALIFORNIA
 APRIL, 2000
The Spink Corporation
 SHEET 2 OF 2 SHEETS



12.5' P.U.E.
 REF. 152 P.M. 13

12.5' P.U.E.
 REF. 152 P.M. 13

12.5' P.U.E.
 REF. 152 P.M. 13

- LEGEND:**
- DIMENSION POINT. -----○
 - SET P.K. NAIL 1/4" DIA X 1-1/2" LONG. -----●
 - FOUND 2" BRASS DISC IN CONCRETE IN MONUMENT WELL. -----⊙
 - PUBLIC UTILITY EASEMENT. -----P.U.E.
 - RADIAL LINE. -----R
 - SET WELL MONUMENT PER CITY STANDARDS. -----⊙
 - SET 1-1/4" IRON PIPE TAGGED "R.C.E. 25596". -----X
 - FOUND 1/4" P.K. NAIL. -----●

- NOTES:**
1. ALL DISTANCES ALONG CURVED LINES ARE CHORD MEASUREMENT.
 2. ALL NEAR LOT CORNERS WILL BE SET WITH A 5/8" REBAR AND PLASTIC CAP STAMPED R.C.E. 25596.
 3. RADII SHOWN ARE R.C.E. RADII UNLESS NOTED OTHERWISE.
 4. THIS SUBDIVISION CONTAINS 8.207 ACRES, GROSS.
 5. THERE IS A 5.00 FOOT POSTAL EASEMENT ADJACENT TO ALL ROAD RIGHT-OF-WAYS SHOWN HEREIN.

BASIS OF BEARINGS:
 THE BASIS OF BEARINGS OF THIS SURVEY IS IDENTICAL WITH THAT OF THE CENTERLINE OF CLAYTON WAY, AS SHOWN ON 255 P.M. 13, FROM WHICH BETWEEN FOUND MONUMENTS THE BEARING IS GIVEN AS S.01°16'57" W.

Exhibit 1: Site Plan

COMPOSITE PLAN

General Notes

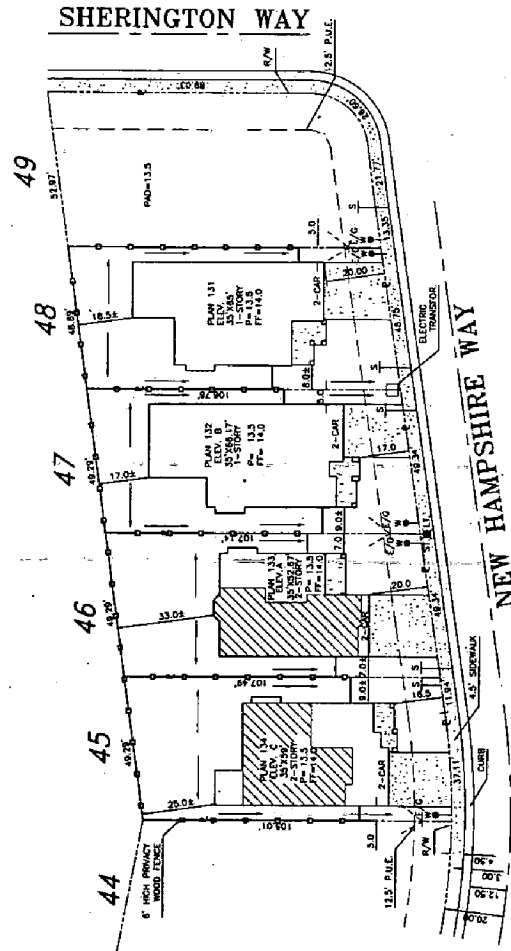
No.	Revision/Issue	Date

RENAISSANCE
 2240 DOUGLAS BLVD. SUITE 200
 ROSELAND, CALIFORNIA 90681
 PHONE (916) 779-4482

PARKWAY PLAZA
 UNIT NO. 2

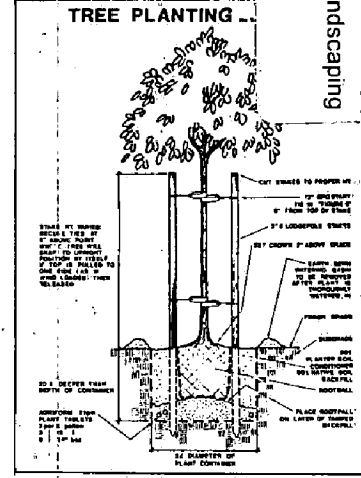
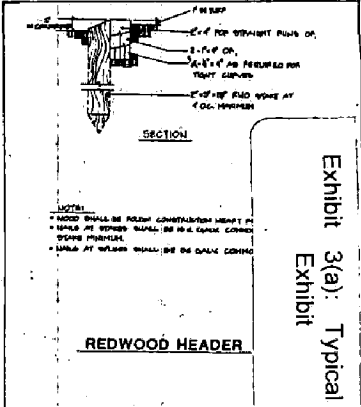
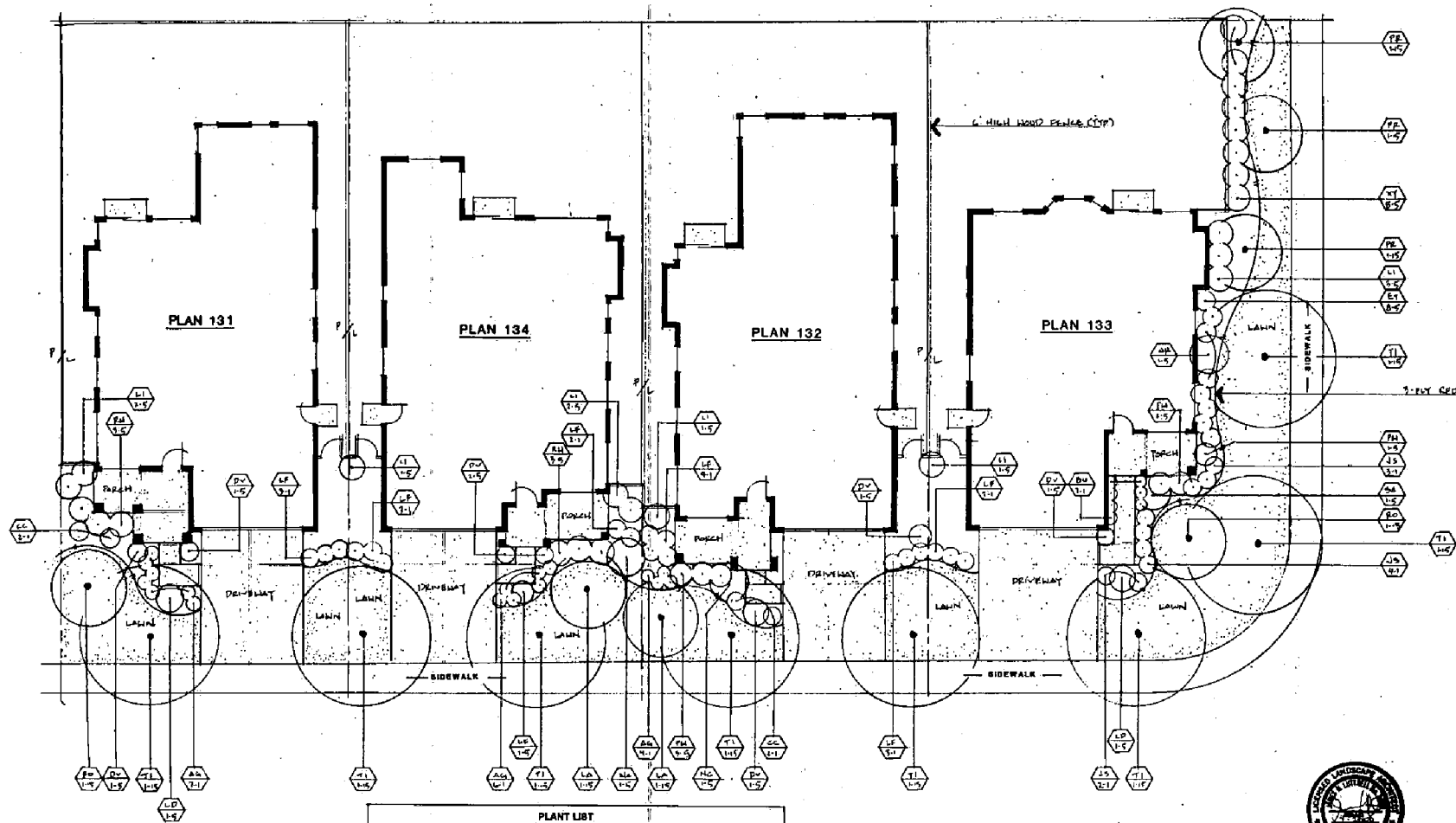
Project: PARKWAY PLAZA UNIT 2
 Date: JAN. 14, 1999
 Scale: 1" = 20'-0"

Exhibit 2: Setback Exhibit and Corner Setback Exhibit



LOT COVERAGE CALCULATIONS

LOT	LOT SQ. FT.	PLAN SQ. FT.	PERCENT COVERAGE
44	5,274	1,800	35%
45	5,272	1,597	30%
47	5,275	2,098	40%
48	5,156	1,912	37%



PLANT LIST		
SYMBOL	BOTANICAL NAME	COMMON NAME
TREES:		
T1	APPROVED STREET TREE - SEE COMMUNITY LIST	N/A
LA	LAGERSTROEMIA INDICA CHEROKEE	N/A GRAPE MYRTLE
PR	PRUNUS CERASIFERA ROYALTYER VESUVIUS	PURPLE LEAF PL CHERRIES PLUM
RO	ROSENA ANGULATA PURPLE ROSE	PURPLE ROSE LOCUST
SHRUBS:		
AC	ACAPANTHUS AFRICANUS VETER PAN	DWARF LILY OF THE RILE
AR	ARBUBUS UNEDO	STRAWBERRY TREE
BU	BUXUS MICROPHYLLA GREEN BEAUTY	DWARF JAPANESE BOXWOOD
CC	CORNUS VILLUSI CHEROKEE	BUSH BERRYING GLOOM
CV	CERTIS VESGATA	FORTNIGHT LILY
JS	JUNIPERUS CHAMENSIS TOIA GREEN	SEA GREEN JUNIPER
LD	LADRISTROEMIA 'PETITE EMERALD'	BUSH CHERRY MYRTLE
LI	LAVANOLA DENTATA	FRENCH LAVENDER
LI	LEUCOSTRUM TIDALUM	TELEGRAPH PLANT
NC	NANDINA DOMESTICA 'COMPACTA'	COMPACT HEAVENLY BAMBOO
PW	PITOSPORUM TOBIANA WHEELER	DWARF MOCK ORANGE
RI	RHAPUNDOLEPS RECKA 'OLYMP'	RECKA HAWTHORN
SA	SALVIA LEUCANTHA	MEXICAN SAGE
XY	XYLOSMA CONGESTUM	SHINY XYLOSMA

- GENERAL INSTALLATION NOTES:**
1. Installer shall secure and pay for a soils test as required. Soils report shall be prepared by a qualified soils specialist and submitted to homebuilder for approval. Samples shall be collected following rough grading operations. At a minimum, the following shall be included in the report:
 - a) Soil infiltration
 - b) Soil texture
 - c) Cation exchange capacity
 - d) Soil fertility including tests for nitrogen, potassium, phosphorus, pH, organic matter, and specific conductance (E.C.).
 Prior to planting, amendments shall be added to correct for problems as noted by the soils report.
 2. All areas that cannot be surface drained shall be drained using 3" diameter ADS drain lines, NDS fittings, etc. All roof downspouts (front and rear eavest) shall be connected to underground system.
 3. All lawn areas shall be a turf-type Tall Fescue blend seed (95%/5% blend).
 4. All shrub and groundcover areas shown on plan shall be topdressed with a 2" minimum layer of 'mini' (1/4"-1/2" diameter) as available from Valley Rock / Loomis, CA (916) 652-7209.
 5. Apply pre-emergent herbicide ('Ronstar' or equal) to all shrub and groundcover areas per manufacturer's suggested rate.
 6. See details for additional information.



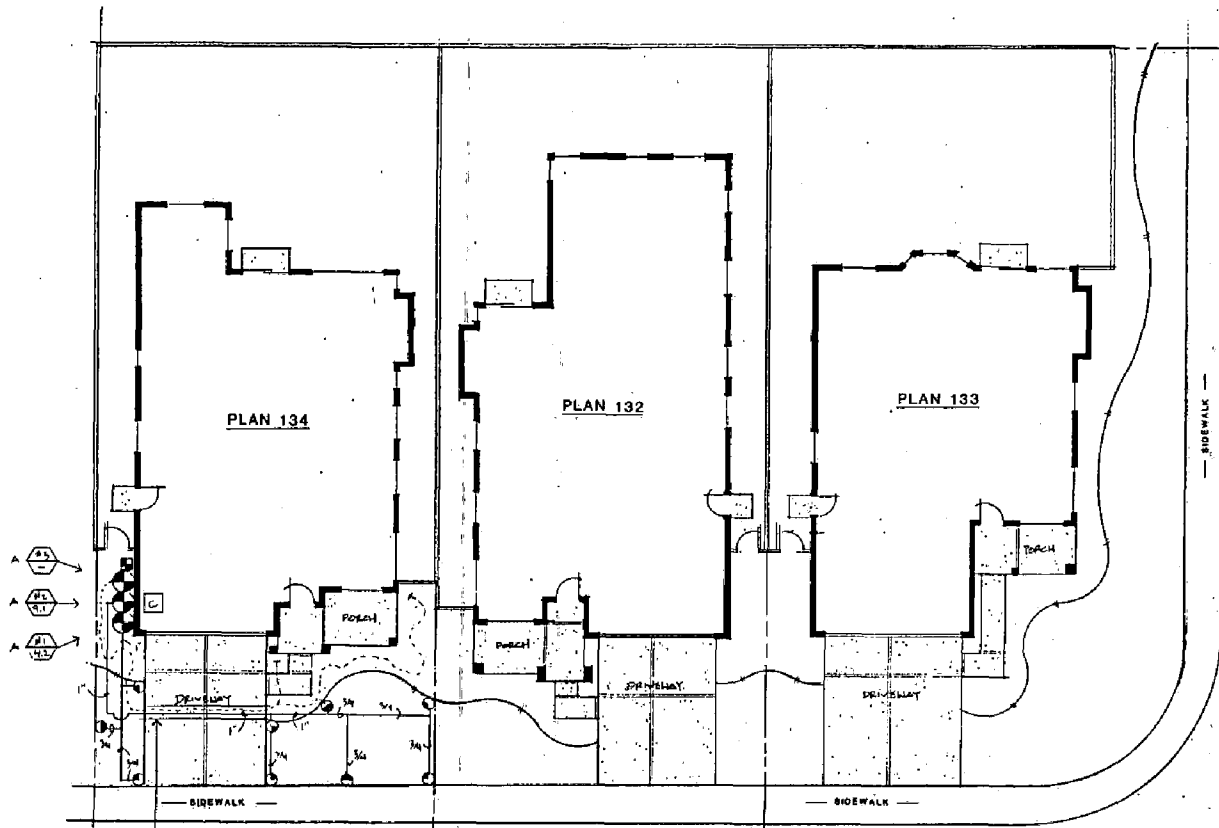
**TYPICAL PRODUCTION LANDSCAPE
PARKWAY PLAZA - UNIT #2**

SACRAMENTO, CA

RENAISSANCE HOMES

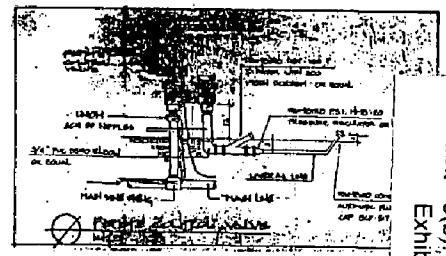
SCALE: 1/8" = 1'-0"

**LANDSCAPE PLANTING PLAN
SHEET L1**



IRRIGATION LEGEND

SYM	MANUF. MODEL #	DESCRIPTION	GPM	PREC. RATE (IN/HR)
⊙	RAMBRD 1008-120	POP UP SPRAY SPRINKLER WITH PVC SCREEN AS REQUIRED	0.53	2.54
⊙	RAMBRD 1008-121		0.7	2.54
⊙	RAMBRD 1008-12H		1.08	2.54
—	HARDE #8HW1845	1/2" DIAMETER POLYETHYLENE MAIN DRIP TUBING WITH (1) 1 GPM GROT EMITTER PER SHRUB AND (2) 1 GPM EMITTERS PER 15-GAL AND LARGER		
⊙	HARDE #7130PR	ANTI-SIPHON CONTROL VALVE (1" SIZE)		
⊙	HARDE R00004N	INDOOR MOUNT AUTOMATIC CONTROLLER		
—	NA SCH 40	SCHEDULE 40 PVC MAIN PRESSURE LINE		
—	NA CLASS 200	CLASS 200 PVC LATERAL NON-PRESSURE IRRIGATION LINE		
⊙	RAMBRD CP-21	COMPRESSION FLUSH CAP INSTALLED BELOW GRADE IN PLASTIC VALVE BOX (SEE DETAIL)		
⊙	NA NA	POINT OF CONNECTION AT WATER SERVICE TEE PROVIDED BY PLUMBING CONTRACTOR		



WATER USE CALCULATIONS (per 139 sheets)

Maximum Allowed Water Allowances (estimated):

MAWA:
 Planting area: 51.9 x 8 x 2666' x .02 = 6,447 gallons per year
 Turf area: 51.9 x 8 x 3828' x .02 = 9,959 gallons per year
 Total MAWA = 16,786 gallons per year

Estimated Allowed Water Use:

EAWA:
 Planting area: 51.9 x 8 x 2666' x .02 x .825 = 5,349 gallons per year
 Turf area: 51.9 x 8 x 3828' x .02 x .825 = 10,783 gallons per year
 Total EAWA = 16,132 gallons per year

IRRIGATION SCHEDULE

PROJECT NAME: PARKWAY PLAZA UNIT #2

IRRIGATION SCHEDULE: (ESTABLISHED LANDSCAPE)

ESTABLISHMENT PERIOD - (30 DAYS FOLLOWING PLANTING)

STATION #	TYPE	HYDRONOME	GEN/PH	CYCLES/DAY	CYCLE LENGTH (MIN)	DAYS/WEEK	INCHES/SEASON
1	SPRAY	LAWN (H2O)	4.1	2	10	2	18.93
2	SPRAY	LAWN (H2O)	9.2	2	10	2	18.93
3	CRIP	SHRUB (MED)	20	2	30	2	4.08

IRRIGATION SCHEDULE

PROJECT NAME: PARKWAY PLAZA UNIT #2

IRRIGATION SCHEDULE: (ESTABLISHED LANDSCAPE)

SPRING (MARCH, APRIL, MAY)

STATION #	TYPE	HYDRONOME	GEN/PH	CYCLES/DAY	CYCLE LENGTH (MIN)	DAYS/WEEK	INCHES/SEASON
1	SPRAY	LAWN (H2O)	4.1	2	10	1	9.27
2	SPRAY	LAWN (H2O)	9.2	2	10	1	9.27
3	CRIP	SHRUB (MED)	20	2	30	1	2.04

IRRIGATION SCHEDULE

PROJECT NAME: PARKWAY PLAZA UNIT #2

IRRIGATION SCHEDULE: (ESTABLISHED LANDSCAPE)

SUMMER (JUNE, JULY, AUGUST)

CONTR. #	STATION #	TYPE	HYDRONOME	GEN/PH	CYCLES/DAY	CYCLE LENGTH (MIN)	DAYS/WEEK	INCHES/SEASON
A	1	SPRAY	LAWN (H2O)	4.1	2	10	2	18.93
A	2	SPRAY	LAWN (H2O)	9.2	2	10	2	18.93
A	3	CRIP	SHRUB (MED)	20	2	30	2	4.08

IRRIGATION SCHEDULE

PROJECT NAME: PARKWAY PLAZA UNIT #2

IRRIGATION SCHEDULE: (ESTABLISHED LANDSCAPE)

AUTUMN (SEPT., OCT., NOV.)

CONTR. #	STATION #	TYPE	HYDRONOME	GEN/PH	CYCLES/DAY	CYCLE LENGTH (MIN)	DAYS/WEEK	INCHES/SEASON
A	1	SPRAY	LAWN (H2O)	4.1	2	10	1	9.27
A	2	SPRAY	LAWN (H2O)	9.2	2	10	1	9.27
A	3	CRIP	SHRUB (MED)	20	2	30	1	2.04

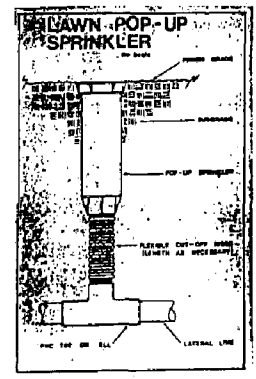
IRRIGATION SCHEDULE

PROJECT NAME: PARKWAY PLAZA UNIT #2

IRRIGATION SCHEDULE: (ESTABLISHED LANDSCAPE)

WINTER (DEC., JAN., FEB.)

CONTR. #	STATION #	TYPE	HYDRONOME	GEN/PH	CYCLES/DAY	CYCLE LENGTH (MIN)	DAYS/WEEK	INCHES/SEASON
A	1	SPRAY	LAWN (H2O)	4.1	0	0	0	0
A	2	SPRAY	LAWN (H2O)	9.2	0	0	0	0
A	3	CRIP	SHRUB (MED)	20	0	0	0	0



TYPICAL PRODUCTION LANDSCAPE
PARKWAY PLAZA - UNIT #2

SACRAMENTO, CA
 RENAISSANCE HOMES

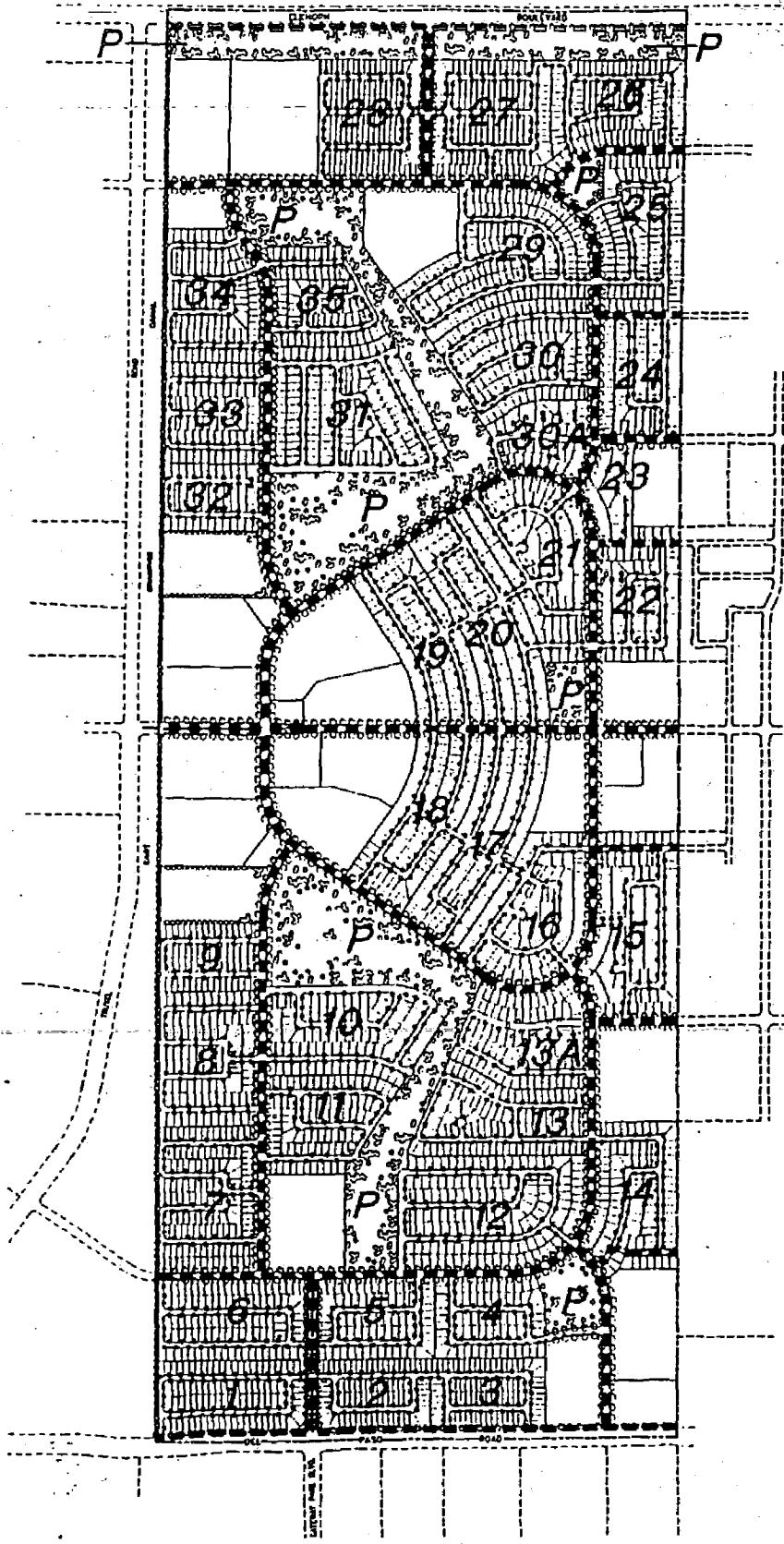
SCALE: 1/8" = 1'-0"

IRRIGATION PLAN // SCHEDULES
SHEET L2

Exhibit 3(b) Typical Lot Landscaping

Exhibit 10: Master Landscape Plan - Street Tree Exhibit

Exhibit 4: Northpointe Park PUD - Street Tree Exhibit



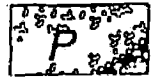
LEGEND

----- PLATANUS ACERIFOLIA 'BLOODGOOD' / LONDON PLANE TREE.

●●●●●●●● PLATANUS ACERIFOLIA 'BLOODGOOD' / LONDON PLANE TREE & LAGERSTROEMIA INDICA 'TUSCARORA' / CRAPE MYRTLE (MEDIAN TREE)



VILLAGE NUMBER. FOR TREE TYPE SEE STREET TREE MATRIX.



PARKS/ OPEN SPACE FOR TREE TYPE SEE STREET TREE MATRIX

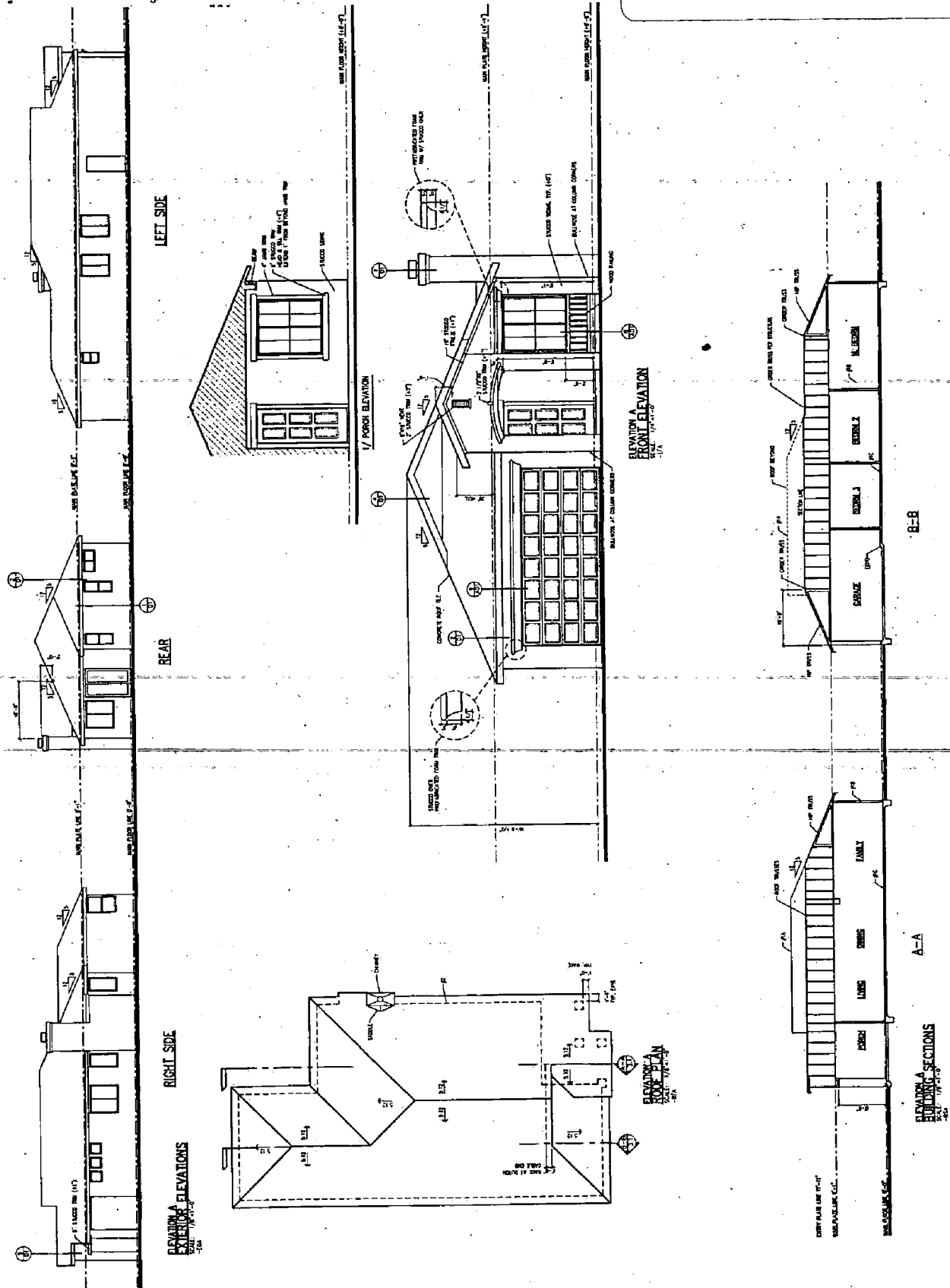
<i>Village</i>	<i>Botanical Name</i>	<i>Common Name</i>
6, 9, 12, 25, 28, 30A, 33	<i>Pyrus Calleryana "Aristocrat"</i>	<i>Aristocrat Pear</i>
5, 7, 14, 16, 22, 24, 27, 31	<i>Ginkgo Biloba</i>	<i>Ginkgo</i>
1, 3, 8, 21, 26, 34	<i>Pistachia Chinensis</i>	<i>Chinese Pistache</i>
2, 15, 17, 18, 19, 20, 23, 30	<i>Platanus Acerifolia "Bloodgood"</i>	<i>Bloodgood Sycamore</i>
4, 10, 11, 13, 13A, 29, 32, 35	<i>Celtis Sinensis</i>	<i>Chinese Hackberry</i>
<i>Open Space</i>	<i>Perimeter trees to match the opposite side of the street in species and spacing (varies by village). Additional trees to be selected by City.</i>	
<i>All Parks</i>	<i>Perimeter trees to match the opposite side of the street in species and spacing (varies by village). Additional trees for interior of parks to be selected by City.</i>	
<i>Elkhorn Boulevard</i>	<i>Platanus Acerifolia "Bloodgood"</i>	<i>Bloodgood Sycamore</i>
<i>North Loop Road (entry off Truxel to Fire Station)</i>	<i>Platanus Acerifolia "Bloodgood" along back of walk; Lagerstreomia Indica "Tuscarora" in median</i>	<i>Bloodgood Sycamore along back of walk; Tuscarora Crape Myrtle in median</i>
<i>North Loop Road (Fire Station to east property line)</i>	<i>Platanus Acerifolia "Bloodgood"</i>	<i>Bloodgood Sycamore</i>
<i>Del Paso Road</i>	<i>Platanus Acerifolia "Bloodgood"</i>	<i>Bloodgood Sycamore</i>

For tree species to be planted along collectors and other major streets, please see Exhibit 10.

PROGRESS

Exhibit 6(a): Plan 1-131 Elevations

GENERAL ELEVATION NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. FINISH GRADES ARE TO BE DETERMINED BY THE CONTRACTOR.
 3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES.
 6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES.
 7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CURBS AND SIDEWALKS.
 8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING LANDSCAPE.
 9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIGNAGE.
 10. THE CONTRACTOR SHALL MAINTAIN THE EXISTING LIGHTING.
 11. THE CONTRACTOR SHALL MAINTAIN THE EXISTING PAVING.
 12. THE CONTRACTOR SHALL MAINTAIN THE EXISTING FENCES.
 13. THE CONTRACTOR SHALL MAINTAIN THE EXISTING TREES.
 14. THE CONTRACTOR SHALL MAINTAIN THE EXISTING BUSHES.
 15. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GRASS.
 16. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SOIL.
 17. THE CONTRACTOR SHALL MAINTAIN THE EXISTING WATER.
 18. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SEWER.
 19. THE CONTRACTOR SHALL MAINTAIN THE EXISTING GAS.
 20. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ELECTRICITY.
 21. THE CONTRACTOR SHALL MAINTAIN THE EXISTING TELEPHONE.
 22. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CABLE.
 23. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SATELLITE.
 24. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ANTENNA.
 25. THE CONTRACTOR SHALL MAINTAIN THE EXISTING TV.
 26. THE CONTRACTOR SHALL MAINTAIN THE EXISTING RADIO.
 27. THE CONTRACTOR SHALL MAINTAIN THE EXISTING WIRELESS.
 28. THE CONTRACTOR SHALL MAINTAIN THE EXISTING FIBER OPTIC.
 29. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DATA.
 30. THE CONTRACTOR SHALL MAINTAIN THE EXISTING VOIP.
 31. THE CONTRACTOR SHALL MAINTAIN THE EXISTING IPTV.
 32. THE CONTRACTOR SHALL MAINTAIN THE EXISTING P2P.
 33. THE CONTRACTOR SHALL MAINTAIN THE EXISTING U2F.
 34. THE CONTRACTOR SHALL MAINTAIN THE EXISTING USB.
 35. THE CONTRACTOR SHALL MAINTAIN THE EXISTING FIREWALL.
 36. THE CONTRACTOR SHALL MAINTAIN THE EXISTING VPN.
 37. THE CONTRACTOR SHALL MAINTAIN THE EXISTING IDS.
 38. THE CONTRACTOR SHALL MAINTAIN THE EXISTING IPS.
 39. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIEM.
 40. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIEM.
 41. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIEM.
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 46. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIEM.
 47. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIEM.
 48. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIEM.
 49. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIEM.
 50. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIEM.



ELEVATION A FRONT ELEVATION

ELEVATION B REAR ELEVATION

ELEVATION C LEFT SIDE

ELEVATION D RIGHT SIDE

SECTION A-A

SECTION B-B

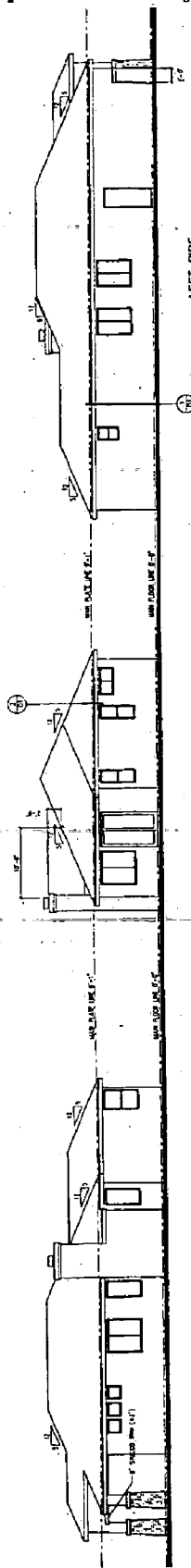
ROOF PLAN

FLOOR PLAN

PROGRESS
 01-14-89

Exhibit 6(c): Plan 1 - 131 Elevations

EXTERIOR ELEVATION NOTES:
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. FINISHES TO BE AS SHOWN ON SCHEDULE.
 3. ALL MATERIALS TO BE APPROVED BY ARCHITECT.
 4. ALL MATERIALS TO BE MATCHED TO SAMPLES.
 5. ALL MATERIALS TO BE MATCHED TO SAMPLES.
 6. ALL MATERIALS TO BE MATCHED TO SAMPLES.
 7. ALL MATERIALS TO BE MATCHED TO SAMPLES.
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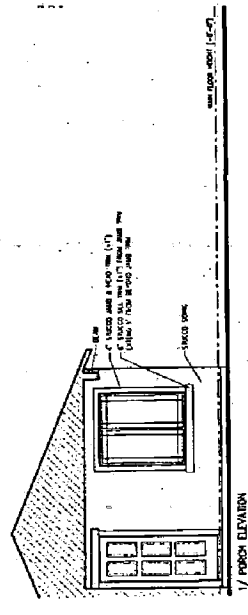


LEFT SIDE

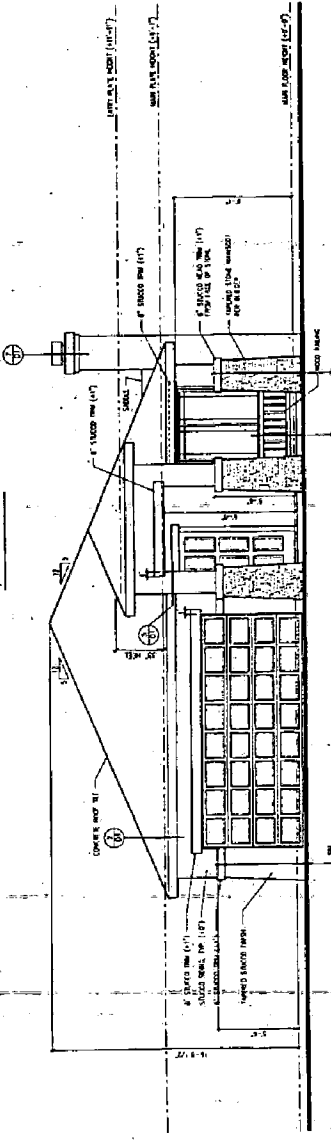
REAR

RIGHT SIDE

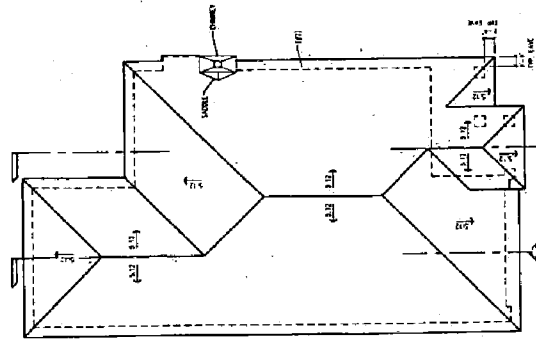
ELEVATION C EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"



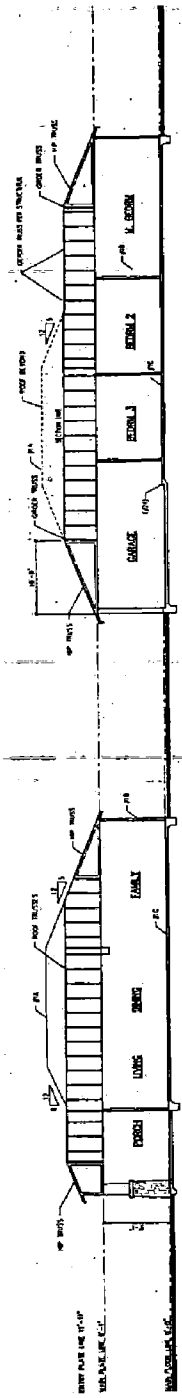
1/4 PORCH ELEVATION



ELEVATION C FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



ROOF PLAN
 SCALE: 1/8" = 1'-0"



A-A

B-B

BUILDING SECTIONS
 SCALE: 1/8" = 1'-0"

DATE	01-14-99
PROJECT	PARKWAY PLAZA VILLAGE II
CLIENT	BLOODGOOD SHARP BUSTER ARCHITECTS & PLANNERS, INC.
SCALE	AS SHOWN
DESIGNER	ARCHITECT
CHECKER	ARCHITECT
DATE	01-14-99

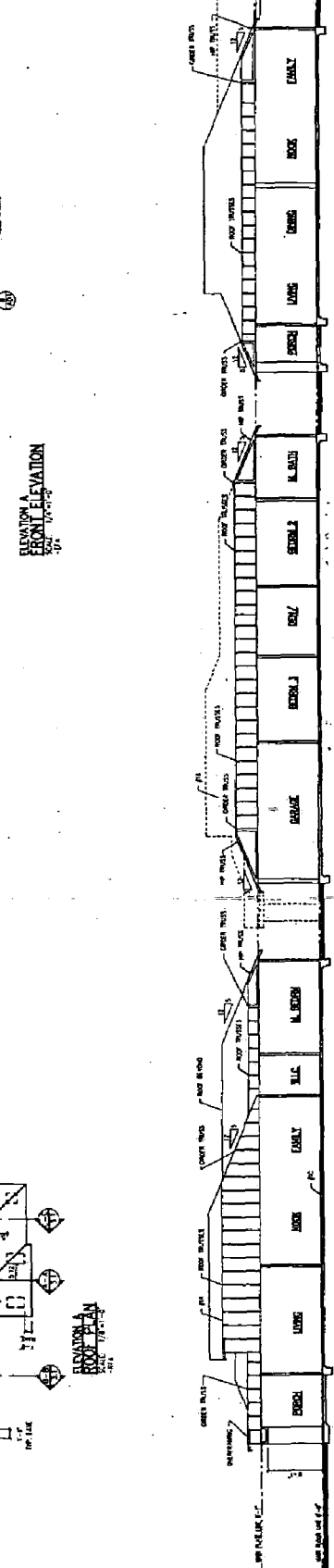
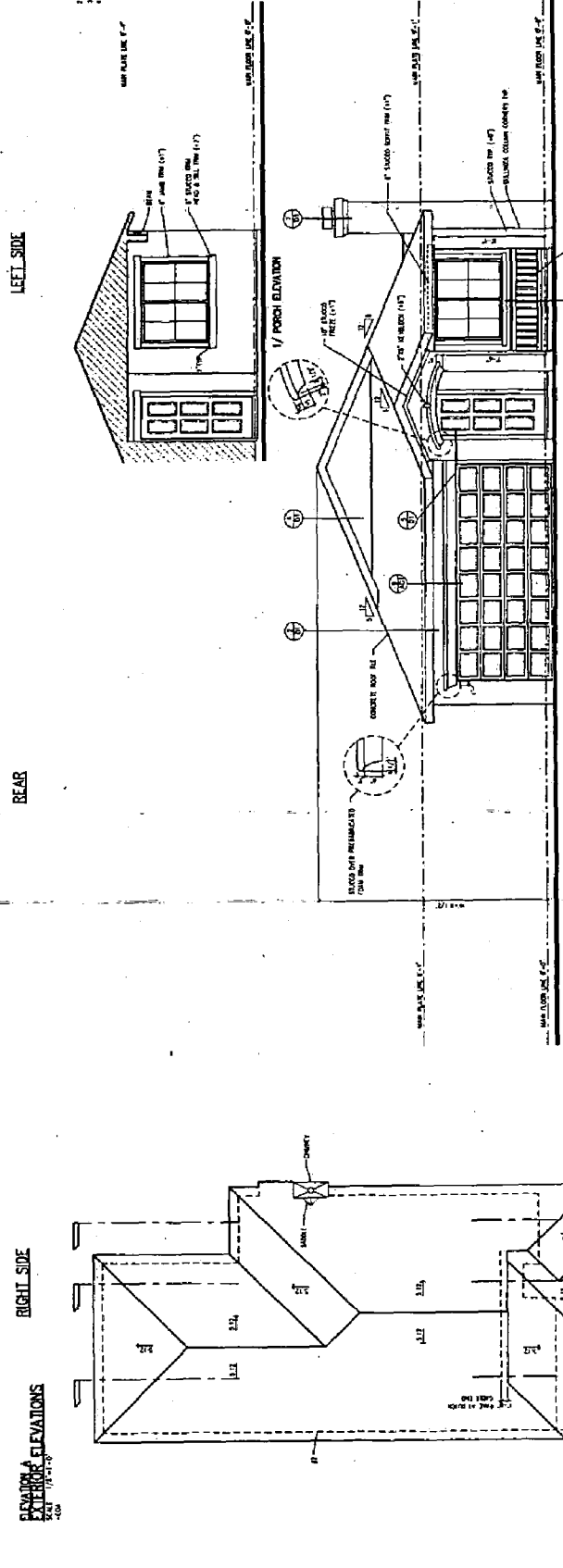
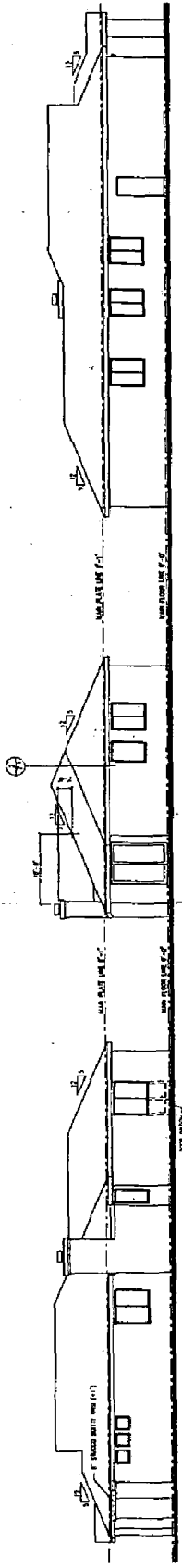
BLOODGOOD SHARP BUSTER ARCHITECTS & PLANNERS, INC.
 2240 DOUGLAS BLVD, STE 250
 ROSEVILLE, CALIFORNIA 95661
 (916) 773-4083
H O M E S
PARKWAY PLAZA VILLAGE II
 SACRAMENTO, CALIFORNIA

DATE	01-14-99
PROJECT	PARKWAY PLAZA VILLAGE II
CLIENT	BLOODGOOD SHARP BUSTER ARCHITECTS & PLANNERS, INC.
SCALE	AS SHOWN
DESIGNER	ARCHITECT
CHECKER	ARCHITECT
DATE	01-14-99

Exhibit 7(a): Plan 2 - 132 Elevations

01-14-99
PROGRESS

GENERAL ELEVATION NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. FINISH GRADE IS INDICATED BY A DOTTED LINE.
 3. ALL MATERIALS AND FINISHES TO BE AS SHOWN ON THE SPECIFICATIONS.
 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND HEATING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND ALARM CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.

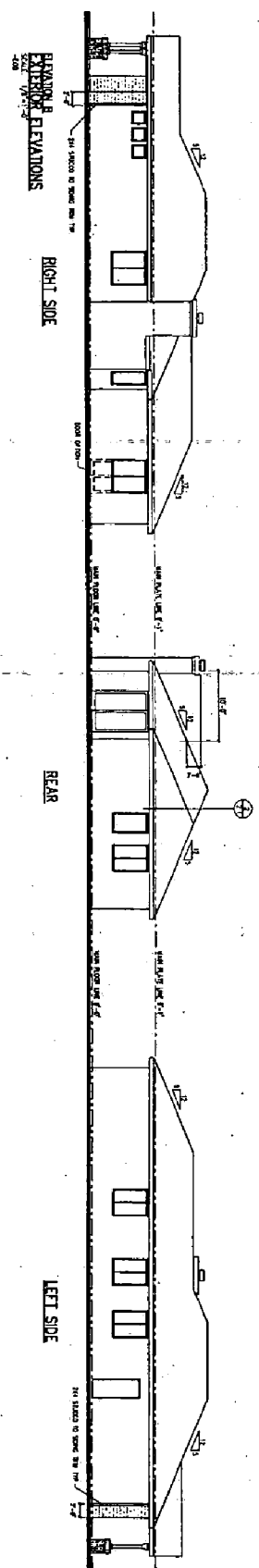


B-B

C-C

A-A

BUILDING SECTIONS

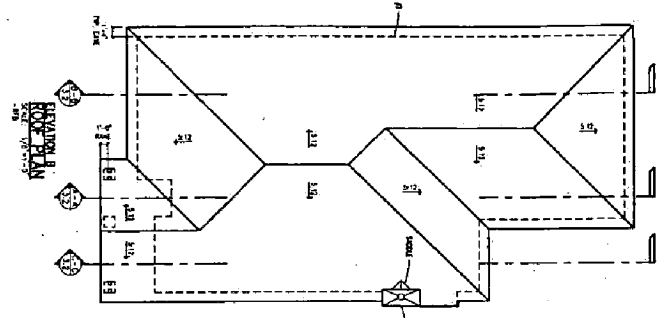


REAR ELEVATIONS

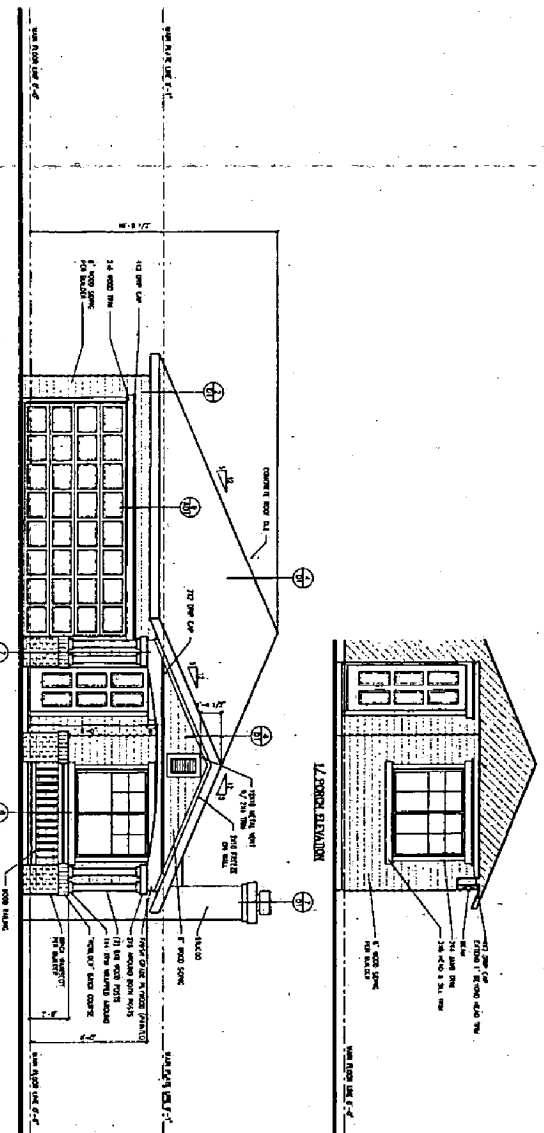
RIGHT SIDE

REAR

LEFT SIDE

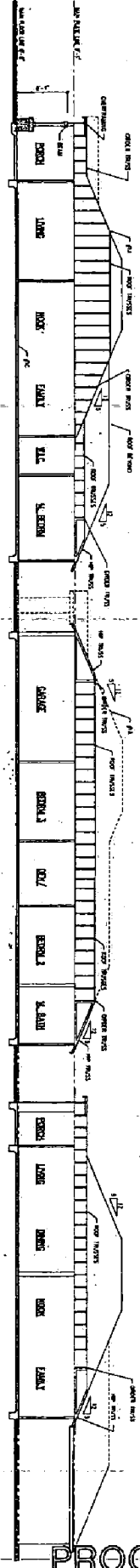


REAR PLAN



ELEVATION B FRONT ELEVATION

1.25TH FLOOR ELEVATION



ELEVATION A BONDING SECTIONS

A-A

B-B

C-C

Exhibit 7(b): Plan 2 - 132 Elevations

GENERAL NOTES:
 1. REFER TO ALL SHEETS FOR NOTES.
 2. ALL DIMENSIONS ARE IN FEET AND INCHES.
 3. FINISHES ARE AS SHOWN ON THE SHEETS.
 4. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS APPROVED BY THE ARCHITECT.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 7. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 8. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
 10. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES.

PROGRESS
 01-14-98

PARKWAY PLAZA VILLAGE II RENAISSANCE 2240 DOUGLAS BLVD. STE 250
 SACRAMENTO, CALIFORNIA ROSEVILLE, CALIFORNIA 95661
HOMES (916) 773-4083

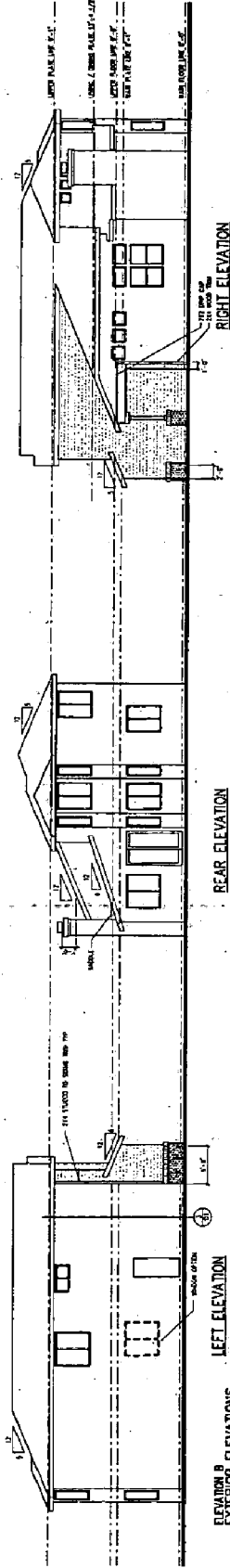
BLOODGOOD SHARP BUSTER ARCHITECTS & PLANNERS, INC.

DATE: 01-14-98
 SHEET: 32

Exhibit 8(b): Plan 3a - 133 Elevations

PROGRESS

EXTERIOR ELEVATION NOTES:
 1. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT.
 2. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
 3. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
 4. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
 5. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
 6. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
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 10. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.

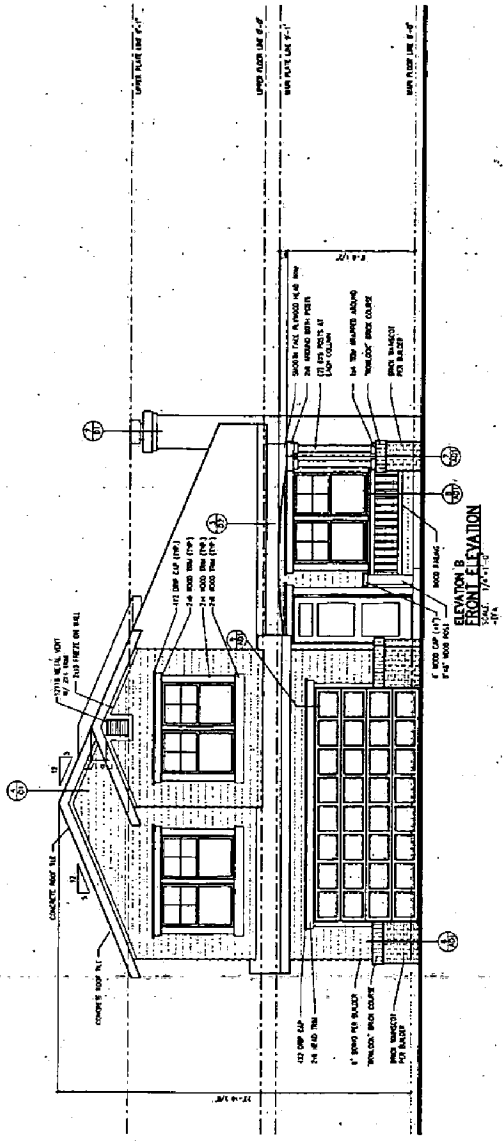


RIGHT ELEVATION

REAR ELEVATION

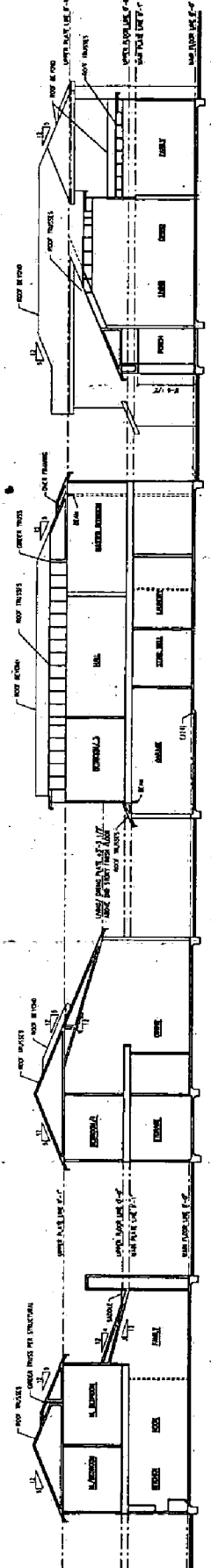
LEFT ELEVATION

ELEVATION B EXTERIOR ELEVATIONS



ELEVATION B FRONT ELEVATION

ELEVATION B ROOF PLAN



C-C

D-D

B-B

A-A

ELEVATION B BUILDING SECTIONS

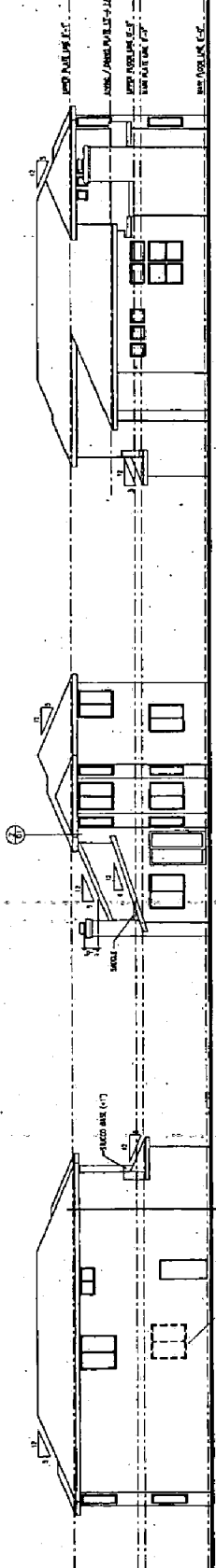
BLOODGOOD SHARP BUSTER
 ARCHITECTS & PLANNERS, INC.
 SACRAMENTO, CALIFORNIA
 (916) 773-4083
 2240 DOUGLAS BLVD. STE 250
 ROSEVILLE, CALIFORNIA 95661

PARKWAY PLAZA VILLAGE II RENAISSANCE
 01-14-89
 PROGRESS

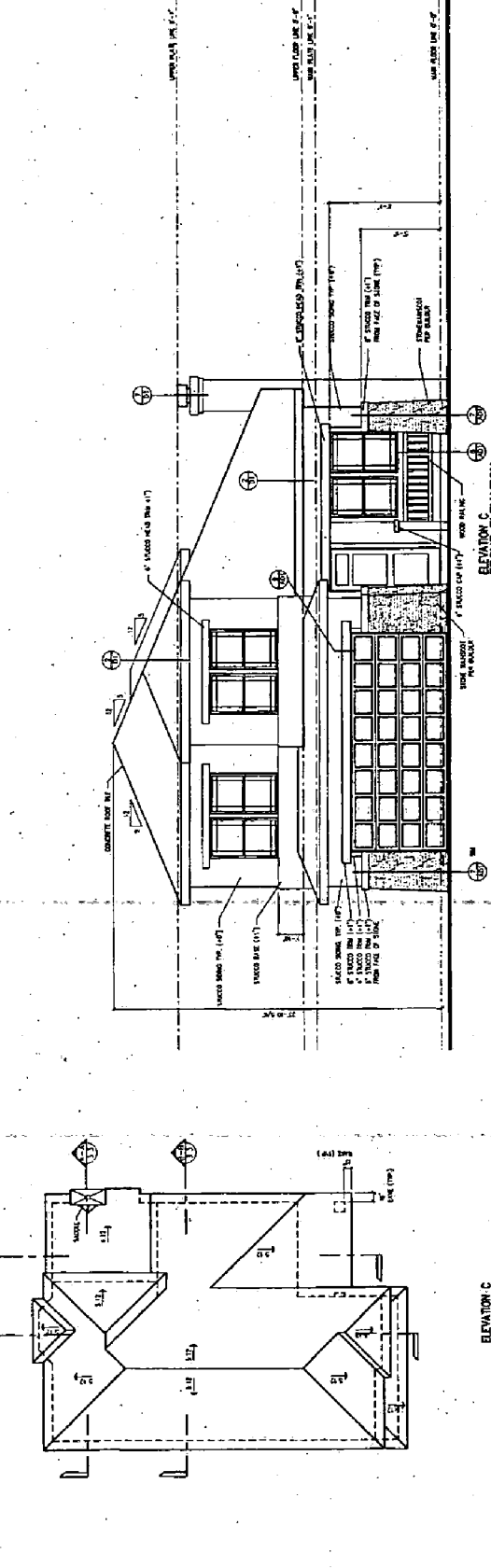
SHEET NO. 33
 PLAN 998
 DATE: 01-14-89
 DRAWN BY: [Name]
 CHECKED BY: [Name]

Exhibit 8(c): Plan 3a - 133 Elevations

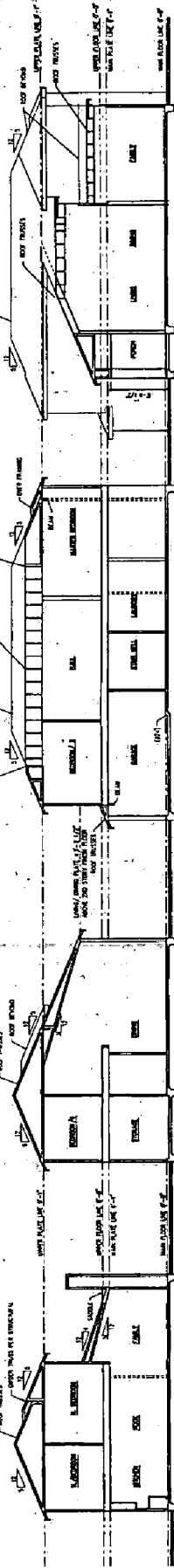
NOTES:
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. FINISHES TO BE DETERMINED BY THE ARCHITECT.
 3. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT.
 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
 5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MECHANICAL, ELECTRICAL AND PLUMBING CODES.
 6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FIRE AND SAFETY CODES.
 7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE LANDSCAPE ARCHITECTURE CODES.
 8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ENVIRONMENTAL DESIGN CODES.
 9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE HISTORIC PRESERVATION CODES.
 10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ARCHITECTURAL RECORDING CODES.



LEFT ELEVATION
 BEAR ELEVATION
 RIGHT ELEVATION
 SECTION C
 SECTION B
 SECTION A
 SECTION D



FRONT ELEVATION
 ROOF PLAN
 SECTION C
 SECTION B
 SECTION A
 SECTION D



SECTION A-A
 SECTION B-B
 SECTION C-C
 SECTION D-D

NO.	DESCRIPTION	DATE
1	PRELIMINARY	10/14/89
2	REVISED	10/14/89
3	REVISED	10/14/89
4	REVISED	10/14/89
5	REVISED	10/14/89
6	REVISED	10/14/89
7	REVISED	10/14/89
8	REVISED	10/14/89
9	REVISED	10/14/89
10	REVISED	10/14/89

DATE	10/14/89
BY	ARCHITECT
SCALE	AS SHOWN
PROJECT	PARKWAY PLAZA VILLAGE II
PLAN	33S
NO.	2.1

ROOF PLAN NOTES:

1. ALL ROOFING SHALL BE PERFORMED BY A LICENSED ROOFER.
2. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL.
3. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE.
4. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE.
5. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.
6. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE.
7. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.
8. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA GAS CODE.
9. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA HAZARDOUS WASTE HANDLING AND STORAGE REGULATIONS.
10. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PROGRESS

1. ALL ROOFING SHALL BE PERFORMED BY A LICENSED ROOFER.
2. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ROOFING MANUAL.
3. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE.
4. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE.
5. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.
6. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE.
7. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.
8. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA GAS CODE.
9. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA HAZARDOUS WASTE HANDLING AND STORAGE REGULATIONS.
10. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

SQUARE FOOTAGES	
TOTAL	10,000
CONCRETE	2,000
WOOD	1,500
GLASS	1,000
STEEL	1,000
MECHANICAL	1,000
ELECTRICAL	1,000
PLUMBING	1,000
PAINT	1,000
LANDSCAPE	1,000
OTHER	1,000

Exhibit 8(d): Plan 3a - 133 Floor Plans

LOWER GARAGE ROOF ATIC VENTILATION SCHEDULE

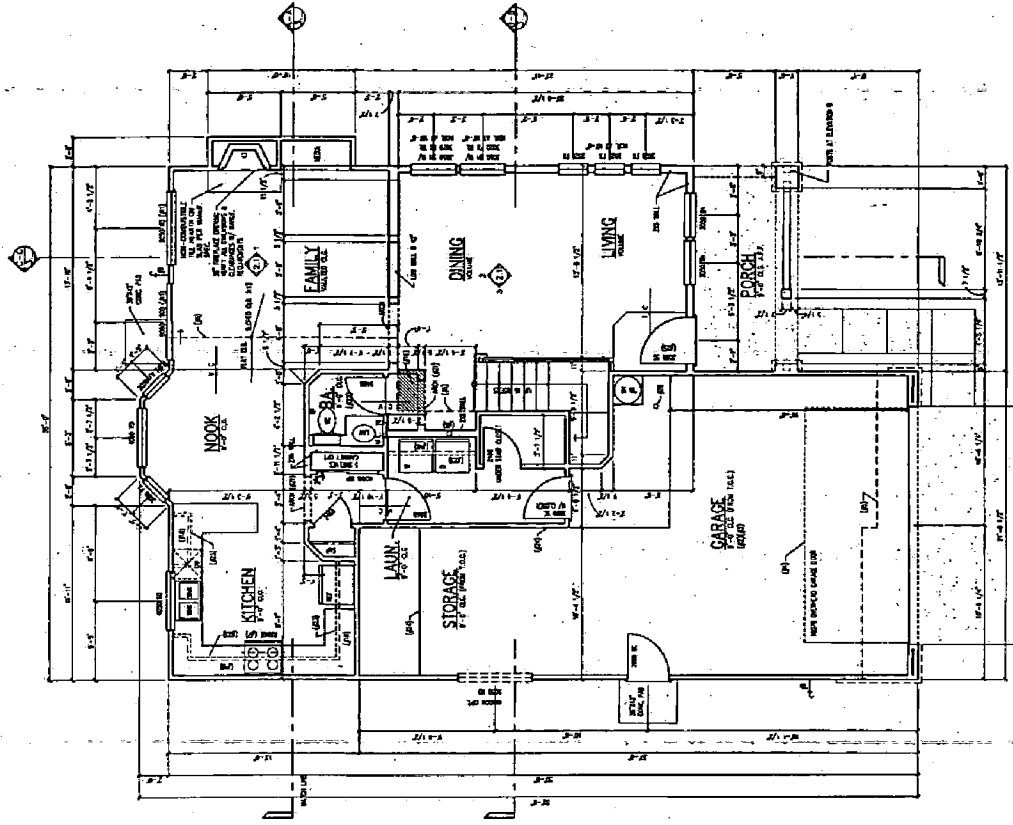
LOCATION	VENTILATION	TYPE	REMARKS
1	100	100	100
2	100	100	100
3	100	100	100
4	100	100	100
5	100	100	100
6	100	100	100
7	100	100	100
8	100	100	100
9	100	100	100
10	100	100	100

LOWER FAMILY ROOM ROOF ATIC VENTILATION SCHEDULE

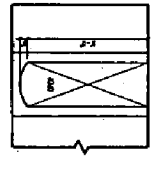
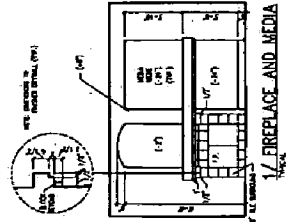
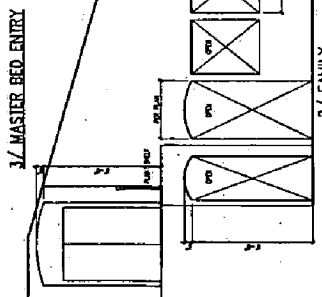
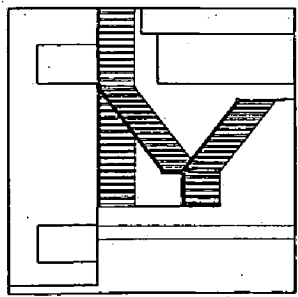
LOCATION	VENTILATION	TYPE	REMARKS
1	100	100	100
2	100	100	100
3	100	100	100
4	100	100	100
5	100	100	100
6	100	100	100
7	100	100	100
8	100	100	100
9	100	100	100
10	100	100	100

UPPER ROOF ATIC VENTILATION SCHEDULE

LOCATION	VENTILATION	TYPE	REMARKS
1	100	100	100
2	100	100	100
3	100	100	100
4	100	100	100
5	100	100	100
6	100	100	100
7	100	100	100
8	100	100	100
9	100	100	100
10	100	100	100

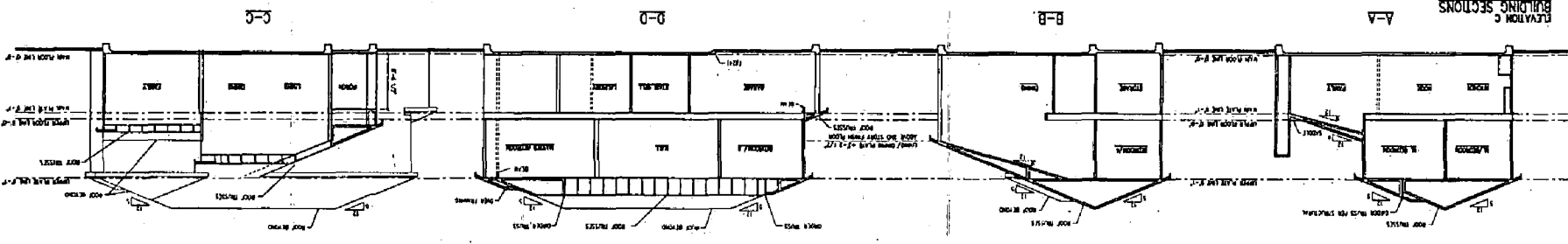


ELEVATIONS A & B
MAIN FLOOR PLAN

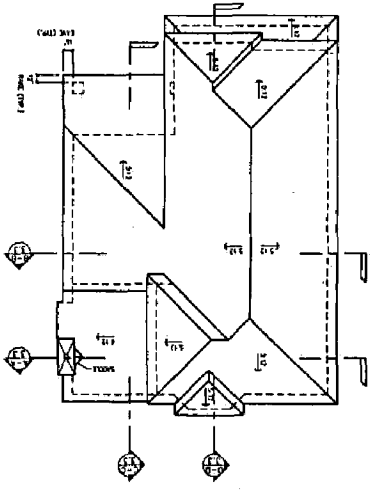


INTERIOR ELEVATIONS

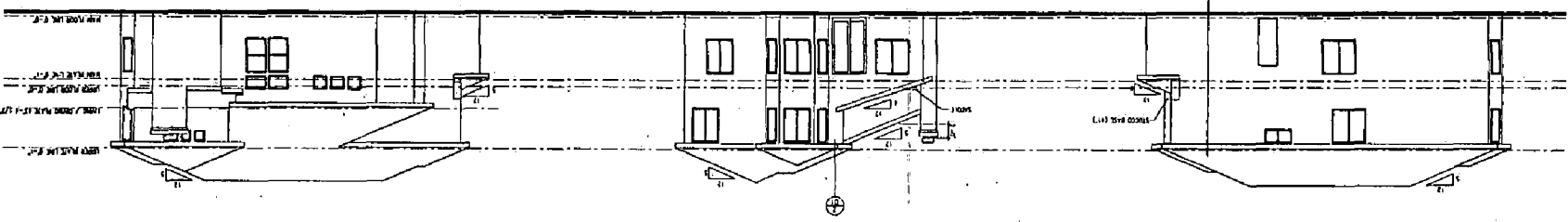
**ELEVATION C
BUILDING SECTIONS**



**ELEVATION C
ROOF PLAN**



**ELEVATION C
EXTERIOR ELEVATIONS**



**ELEVATION C
FRONT ELEVATION**

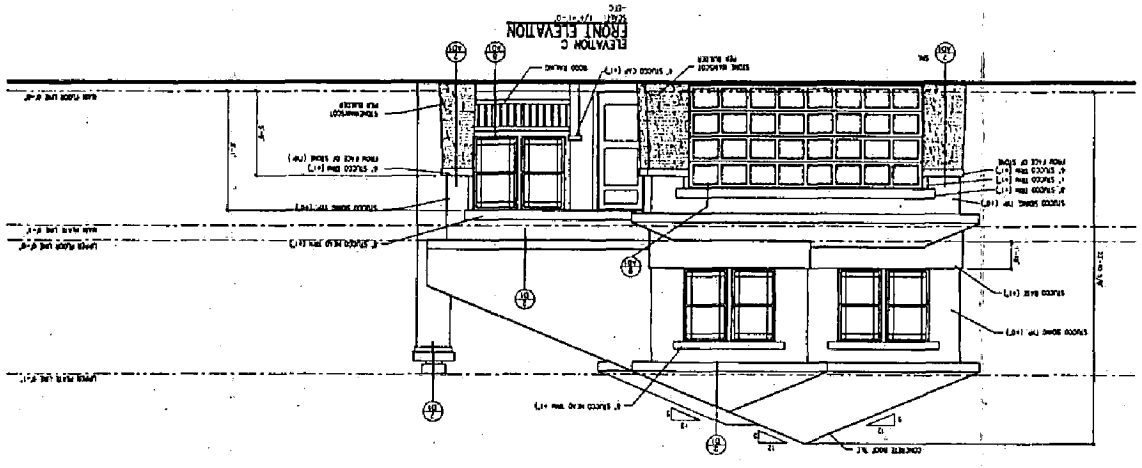


Exhibit 9(c): Plan 3b - 133X Elevations

**PROGRESS
01-14-99**

3	1
2	2
1	3

PARKWAY PLAZA VILLAGE II
SACRAMENTO, CALIFORNIA

RENAISSANCE
204 DOUGLAS BLVD, STE 200
ROSENBLUM CALIFORNIA 85881
H O M E S I (916) 773-4083

BLOODGOOD SHARP BUSTER
ARCHITECTS & PLANNERS, INC.

EXTERIOR ELEVATION NOTES

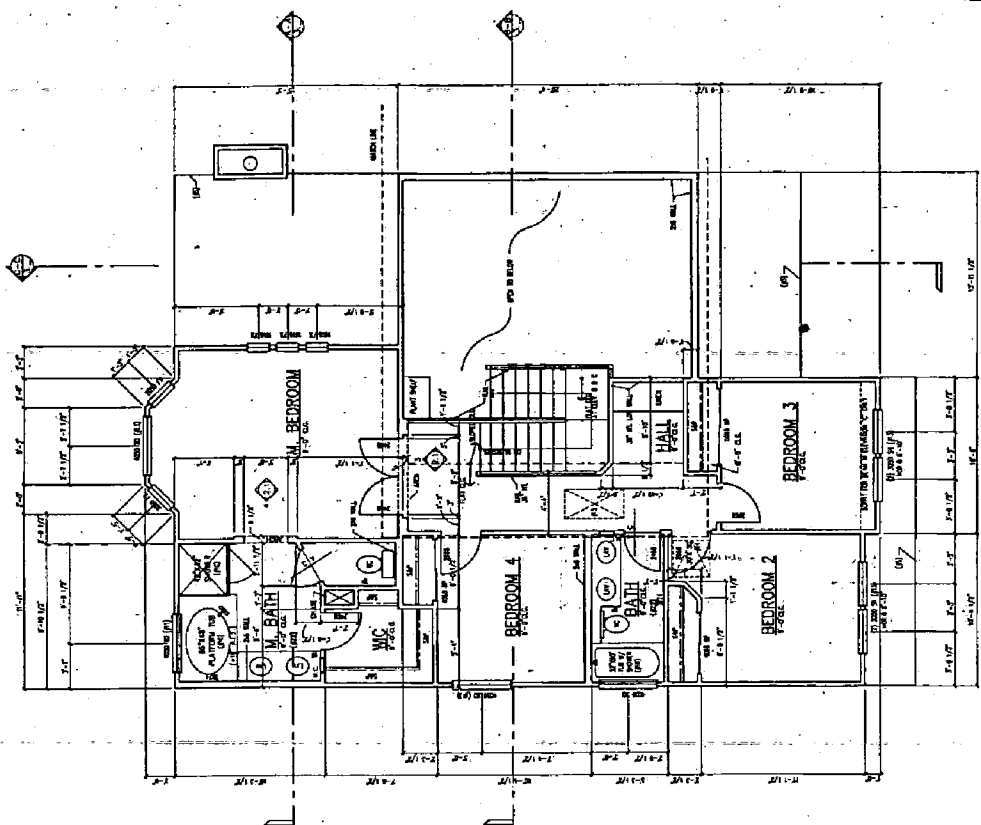
1. SEE PLAN FOR WINDOW SIZES AND SPACING.
2. SEE PLAN FOR WINDOW SIZES AND SPACING.
3. SEE PLAN FOR WINDOW SIZES AND SPACING.
4. SEE PLAN FOR WINDOW SIZES AND SPACING.
5. SEE PLAN FOR WINDOW SIZES AND SPACING.
6. SEE PLAN FOR WINDOW SIZES AND SPACING.
7. SEE PLAN FOR WINDOW SIZES AND SPACING.
8. SEE PLAN FOR WINDOW SIZES AND SPACING.
9. SEE PLAN FOR WINDOW SIZES AND SPACING.
10. SEE PLAN FOR WINDOW SIZES AND SPACING.
11. SEE PLAN FOR WINDOW SIZES AND SPACING.
12. SEE PLAN FOR WINDOW SIZES AND SPACING.
13. SEE PLAN FOR WINDOW SIZES AND SPACING.
14. SEE PLAN FOR WINDOW SIZES AND SPACING.
15. SEE PLAN FOR WINDOW SIZES AND SPACING.
16. SEE PLAN FOR WINDOW SIZES AND SPACING.
17. SEE PLAN FOR WINDOW SIZES AND SPACING.
18. SEE PLAN FOR WINDOW SIZES AND SPACING.
19. SEE PLAN FOR WINDOW SIZES AND SPACING.
20. SEE PLAN FOR WINDOW SIZES AND SPACING.

SQUARE FOOTAGES	
TYPE	AREA
TOTAL FLOOR AREA	1,100.00
COMMON AREAS	100.00
UNIT AREA	1,000.00
TOTAL UNIT AREA	1,000.00

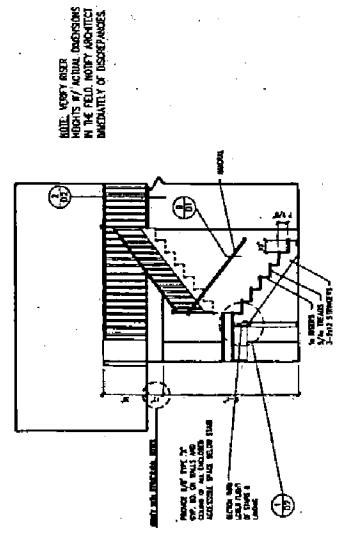
01-14-89
PROGRESS

- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL WALLS ARE 1/2" THICK UNLESS OTHERWISE NOTED.
 3. ALL DOORS ARE 3'0" WIDE UNLESS OTHERWISE NOTED.
 4. ALL WINDOWS ARE 6'0" WIDE UNLESS OTHERWISE NOTED.
 5. ALL CEILING AREAS ARE TO BE FINISHED WITH POP AND PAINT UNLESS OTHERWISE NOTED.
 6. ALL FLOOR AREAS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 7. ALL STAIRS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 8. ALL BATHS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 9. ALL KITCHENS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 10. ALL HALLS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 11. ALL CLOSETS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 12. ALL BALCONIES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 13. ALL TERRACES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 14. ALL PATIOS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 15. ALL PORCHES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 16. ALL DRIVEWAYS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 17. ALL SIDEWALKS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 18. ALL STAIRS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 19. ALL BATHS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 20. ALL KITCHENS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 21. ALL HALLS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 22. ALL CLOSETS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 23. ALL BALCONIES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 24. ALL TERRACES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 25. ALL PATIOS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 26. ALL PORCHES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 27. ALL DRIVEWAYS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 28. ALL SIDEWALKS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 29. ALL STAIRS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 30. ALL BATHS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 31. ALL KITCHENS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 32. ALL HALLS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 33. ALL CLOSETS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 34. ALL BALCONIES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 35. ALL TERRACES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 36. ALL PATIOS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 37. ALL PORCHES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 38. ALL DRIVEWAYS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 39. ALL SIDEWALKS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 40. ALL STAIRS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 41. ALL BATHS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 42. ALL KITCHENS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 43. ALL HALLS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 44. ALL CLOSETS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 45. ALL BALCONIES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 46. ALL TERRACES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 47. ALL PATIOS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 48. ALL PORCHES ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 49. ALL DRIVEWAYS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.
 50. ALL SIDEWALKS ARE TO BE FINISHED WITH 1/2" THICK CERAMIC TILE UNLESS OTHERWISE NOTED.

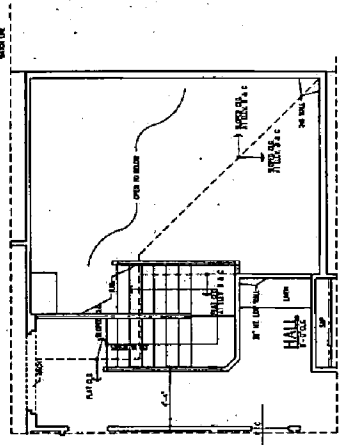
Exhibit 9(e): Plan 3b - 133X Floor Plans



ELEVATIONS A, B, & C
UPPER FLOOR PLAN



NOTE: VERIFY RISE AND RUN WITH ACTUAL DIMENSIONS IN THE FIELD. NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES.

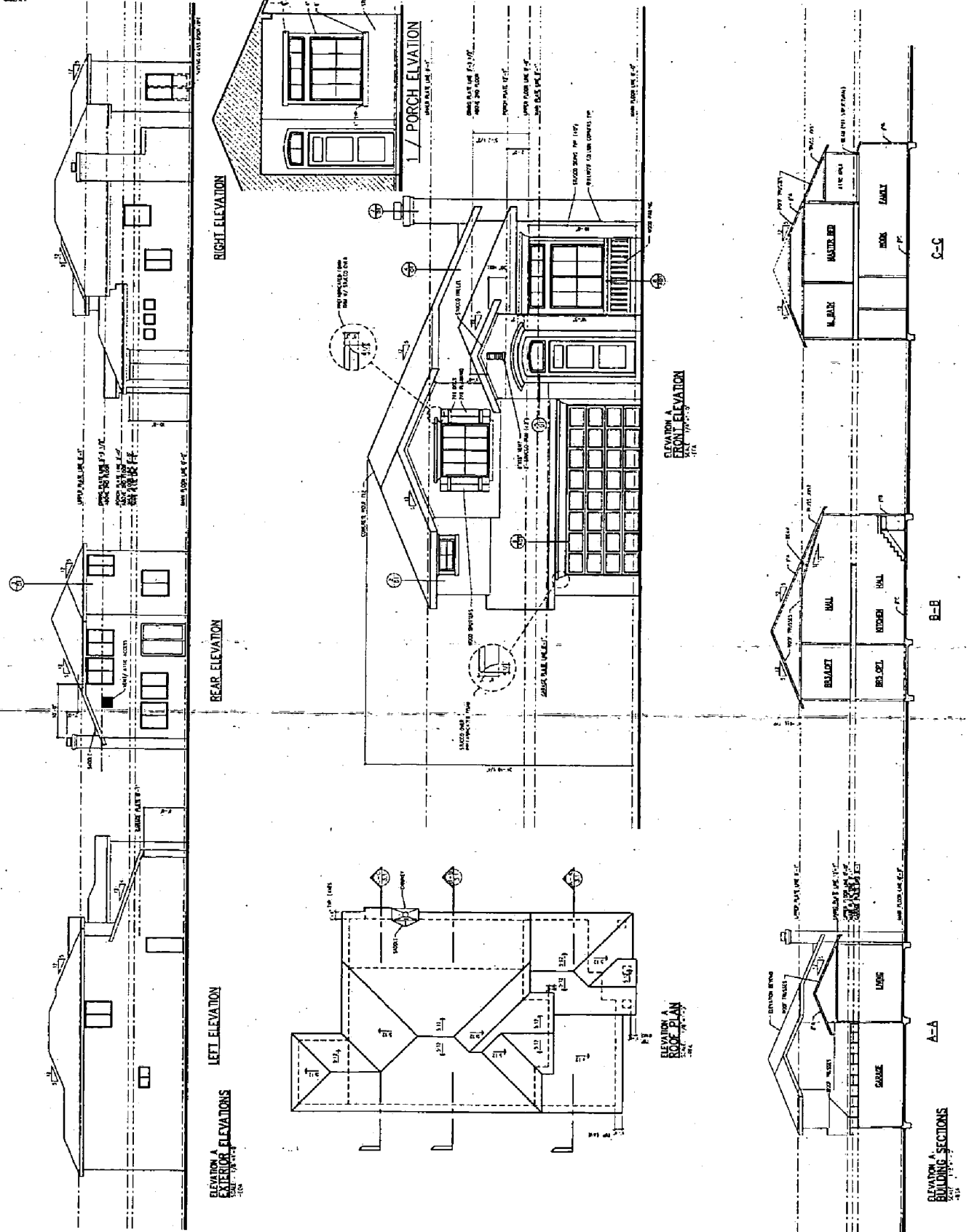


PROGRESS
01-14-89

Exhibit 10(a): Plan 4a - 134 Elevations

EXTERIOR ELEVATION NOTES:

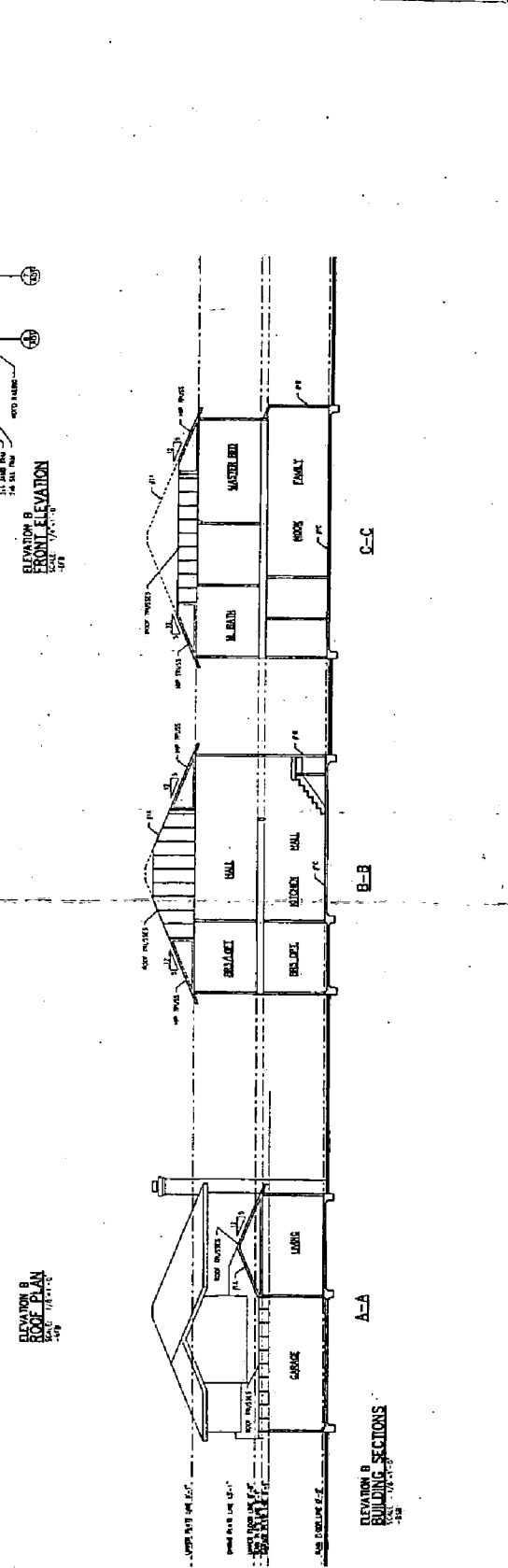
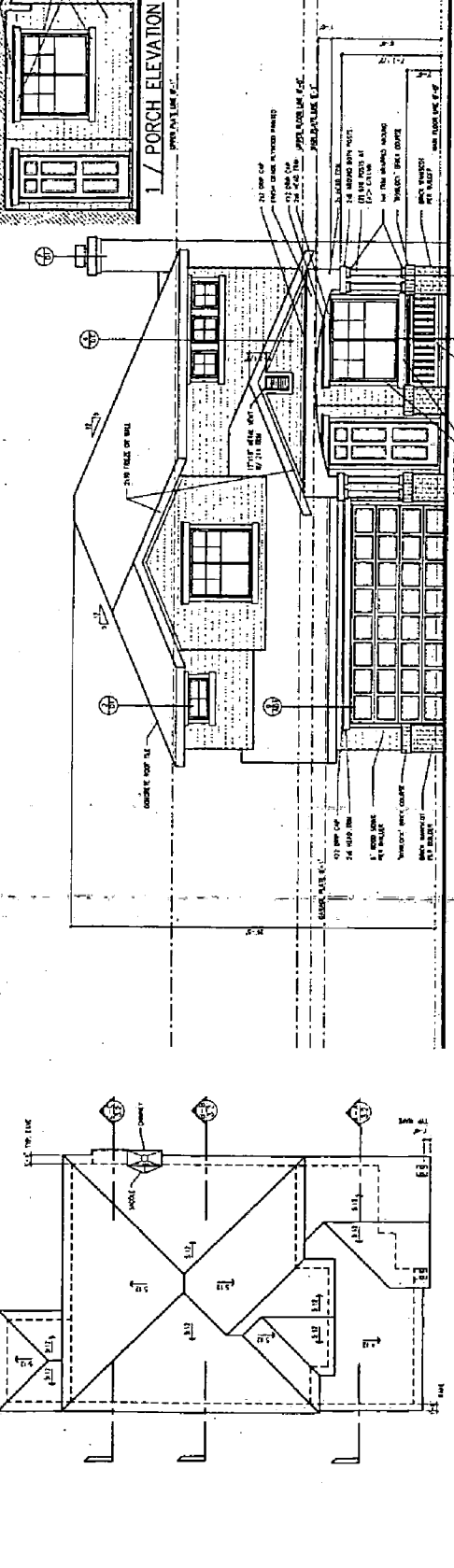
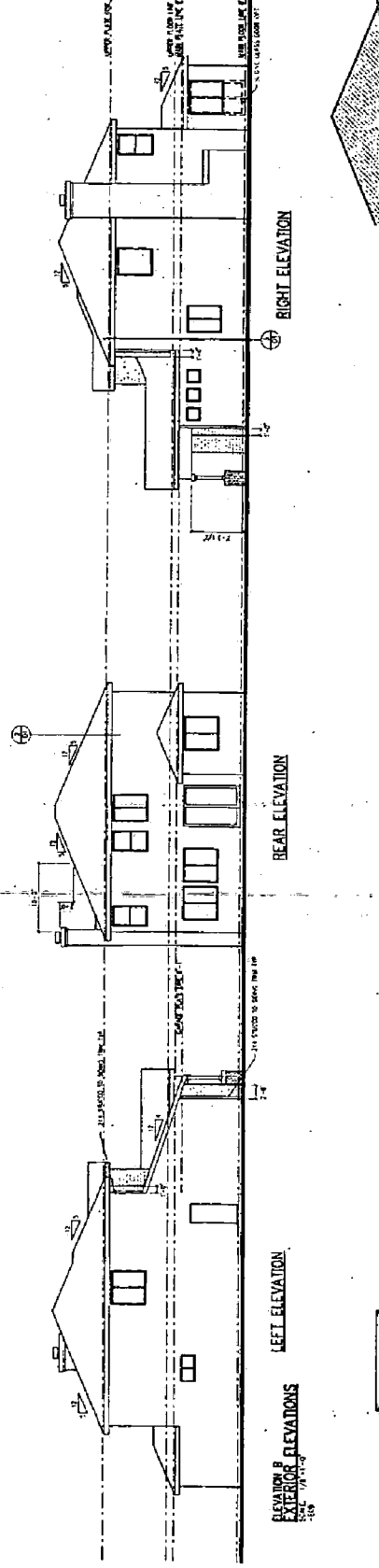
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
2. FINISHES TO BE AS SHOWN ON SCHEDULE.
3. ALL MATERIALS TO BE APPROVED BY ARCHITECT PRIOR TO ORDERING.
4. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
5. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
6. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
7. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
8. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
9. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
10. ALL MATERIALS TO BE MATCHED TO EXISTING MATERIALS.

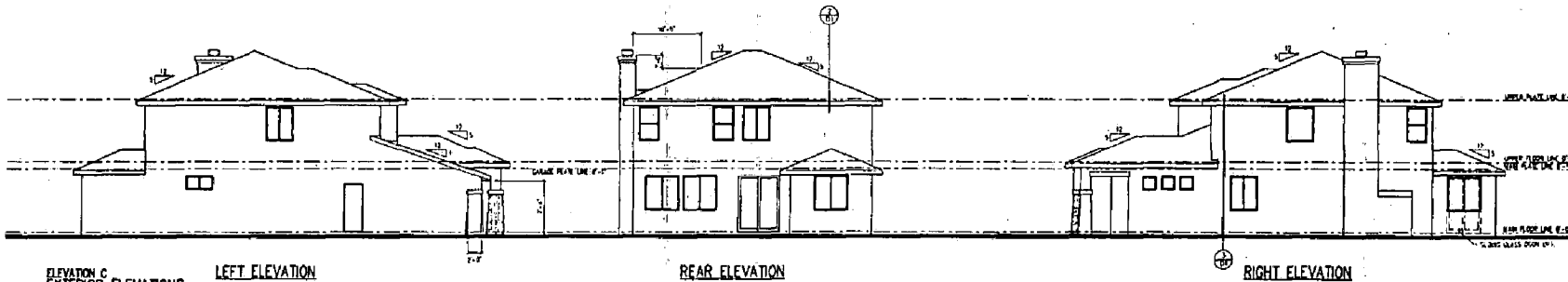


PROGRESS
 01-14-98

Exhibit 10(b): Plan 4a - 134 Elevations

EXTERIOR ELEVATION NOTES:
 1. ALL FINISHES TO BE AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 2. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 3. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
 4. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
 5. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
 6. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
 7. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
 8. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
 9. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.
 10. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.



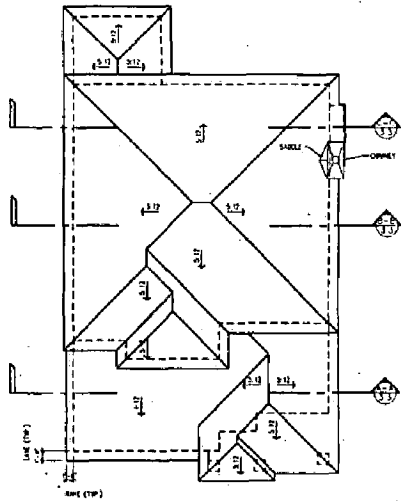


ELEVATION C
EXTERIOR ELEVATIONS
SCALE 1/8" = 1'-0"
-15K

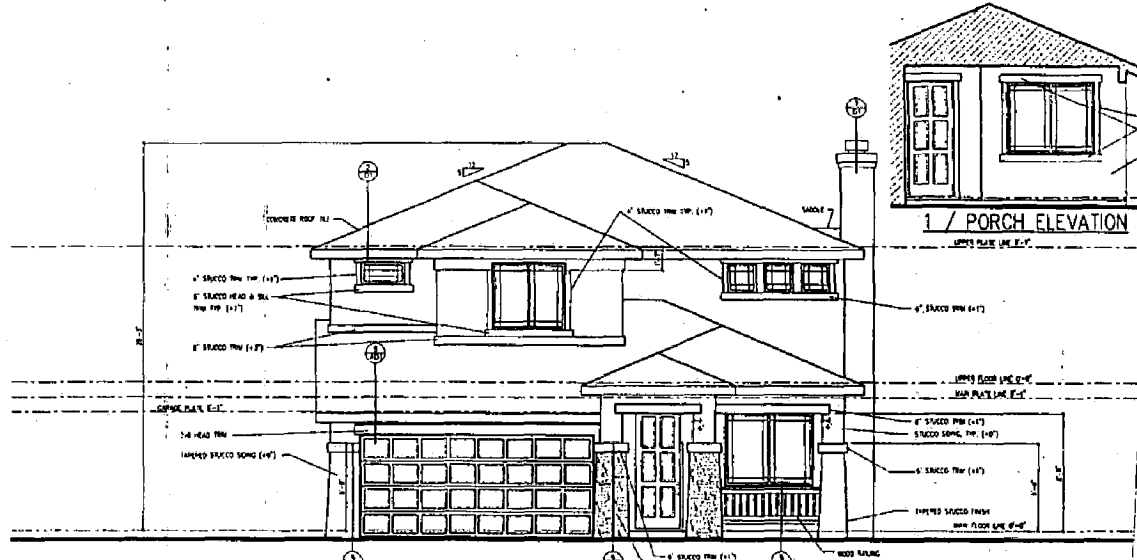
LEFT ELEVATION

REAR ELEVATION

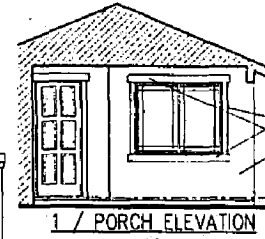
RIGHT ELEVATION



ELEVATION C
ROOF PLAN
SCALE 1/8" = 1'-0"
-15K



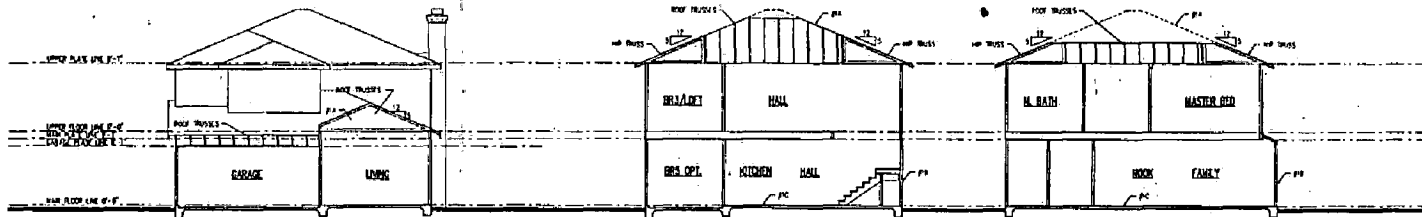
ELEVATION C
FRONT ELEVATION
SCALE 1/8" = 1'-0"
-15K



1 / PORCH ELEVATION
SCALE 1/8" = 1'-0"

EXTERIOR ELEVATION NOTES:
1. SEE GENERAL NOTES.
2. SEE SPECIFICATIONS.
3. SEE ARCHITECT'S SCHEDULE.
4. SEE ARCHITECT'S NOTES.
5. SEE ARCHITECT'S NOTES.
6. SEE ARCHITECT'S NOTES.
7. SEE ARCHITECT'S NOTES.
8. SEE ARCHITECT'S NOTES.
9. SEE ARCHITECT'S NOTES.
10. SEE ARCHITECT'S NOTES.

Exhibit 10(c): Plan 4a - 134 Elevations



ELEVATION C
BUILDING SECTIONS
SCALE 1/8" = 1'-0"
-15K

A-A

B-B

C-C

PROGRESS 01-14-88

240 DOUGLAS BLVD. STE. 250
ROSELIE CALIFORNIA 95891
(916) 773-4083

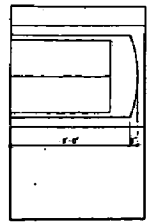
RENAISSANCE HOMES

PARKWAY PLAZA VILLAGE II
SACRAMENTO, CALIFORNIA

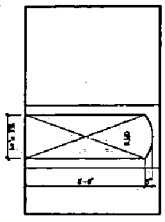
BLOODGOOD SHARP BUSTER
ARCHITECTS & ENGINEERS, INC.

PLAN 135

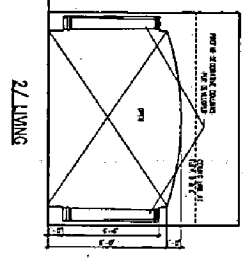
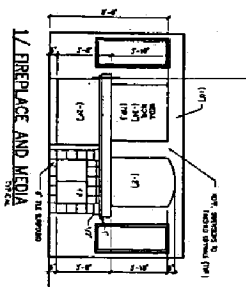
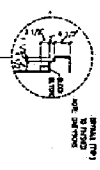
3.3



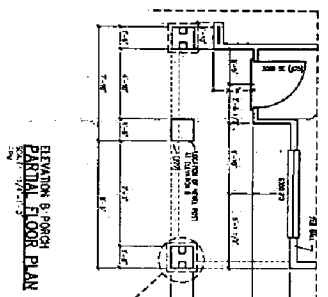
3/ ARCH



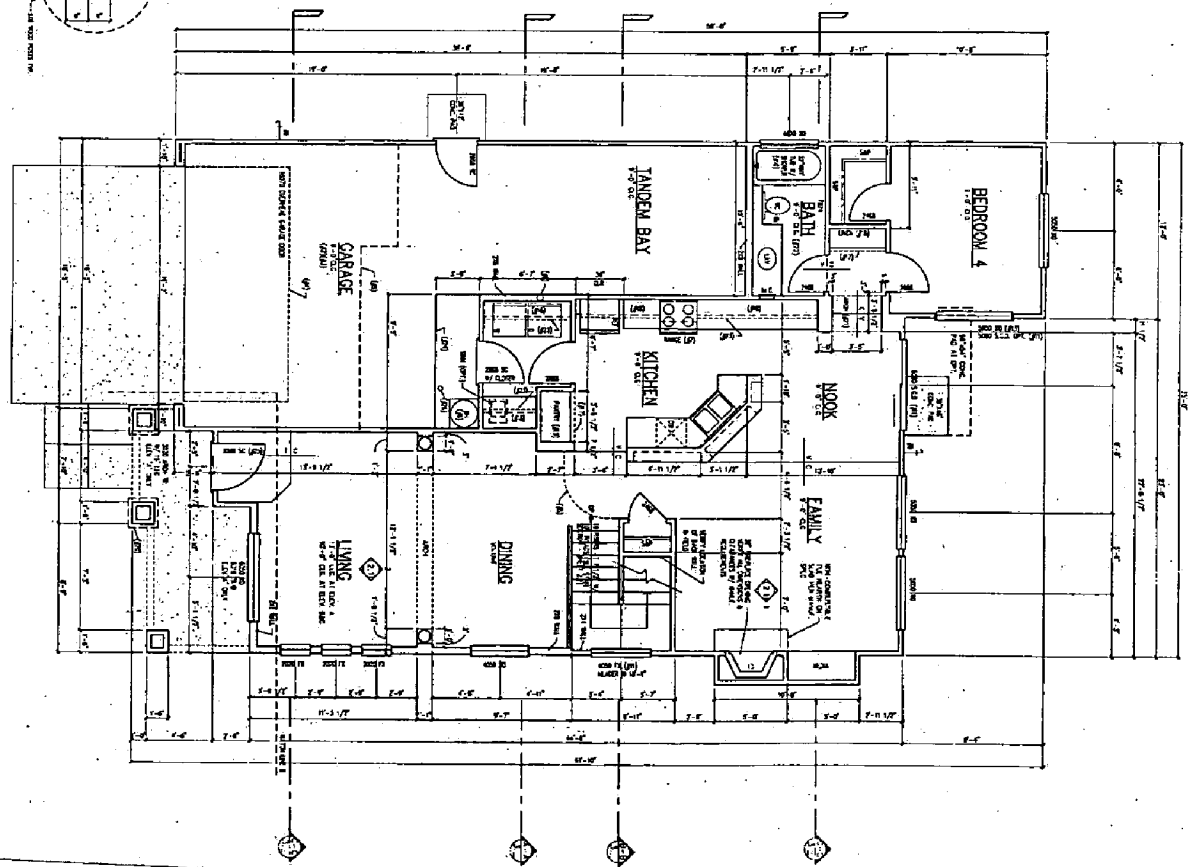
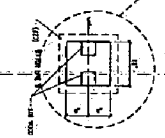
4/ ARCH



NEEDED ELEVATIONS



PARTIAL FLOOR PLAN



ELEVATIONS B & C MAIN FLOOR PLAN

Exhibit 12(a): Plan 4c - 135 Floor Plans

FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. FINISHES ARE AS NOTED OR AS PER STANDARD FINISHES.
3. SEE ARCHITECT'S SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
4. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
6. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
8. ALL EXCAVATION SHALL BE PROTECTED AND REINFORCED AS PER THE SPECIFICATIONS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
10. ALL FOUNDATION WORK SHALL BE ACCORDING TO THE GEOTECHNICAL REPORT.
11. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.
12. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
14. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
15. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
16. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
18. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
19. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
20. ALL EXCAVATION SHALL BE PROTECTED AND REINFORCED AS PER THE SPECIFICATIONS.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
22. ALL FOUNDATION WORK SHALL BE ACCORDING TO THE GEOTECHNICAL REPORT.
23. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.
24. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
26. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
27. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
28. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
30. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
31. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
32. ALL EXCAVATION SHALL BE PROTECTED AND REINFORCED AS PER THE SPECIFICATIONS.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
34. ALL FOUNDATION WORK SHALL BE ACCORDING TO THE GEOTECHNICAL REPORT.
35. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.
36. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
37. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
38. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
39. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
40. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
41. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
42. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
43. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
44. ALL EXCAVATION SHALL BE PROTECTED AND REINFORCED AS PER THE SPECIFICATIONS.
45. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
46. ALL FOUNDATION WORK SHALL BE ACCORDING TO THE GEOTECHNICAL REPORT.
47. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.
48. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
49. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
50. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
51. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
52. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
53. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
54. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
55. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
56. ALL EXCAVATION SHALL BE PROTECTED AND REINFORCED AS PER THE SPECIFICATIONS.
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59. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.
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PROGRESS
01-14-88

ELEVATION B & C

SQUARE FOOTAGES	PLAN 188
1	2.1

PARKWAY PLAZA VILLAGE II RENAISSANCE
SACRAMENTO, CALIFORNIA
240 DOUGLAS BLVD. STE. 250
ROSEVILLE, CALIFORNIA 95661
(916) 773-4083

BLOODGOOD SHARP BUSTER
ARCHITECTS & PLANNERS, INC.

DATE	01-14-88
SCALE	AS SHOWN
PROJECT	PARKWAY PLAZA VILLAGE II
CLIENT	RENAISSANCE HOMES
DESIGNER	BLOODGOOD SHARP BUSTER
DATE	01-14-88
SCALE	AS SHOWN
PROJECT	PARKWAY PLAZA VILLAGE II
CLIENT	RENAISSANCE HOMES
DESIGNER	BLOODGOOD SHARP BUSTER

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SCALE	AS SHOWN
PROJECT	PARKWAY PLAZA VILLAGE II
CLIENT	RENAISSANCE HOMES
DESIGNER	BLOODGOOD SHARP BUSTER

PROGRESS
 01-14-99

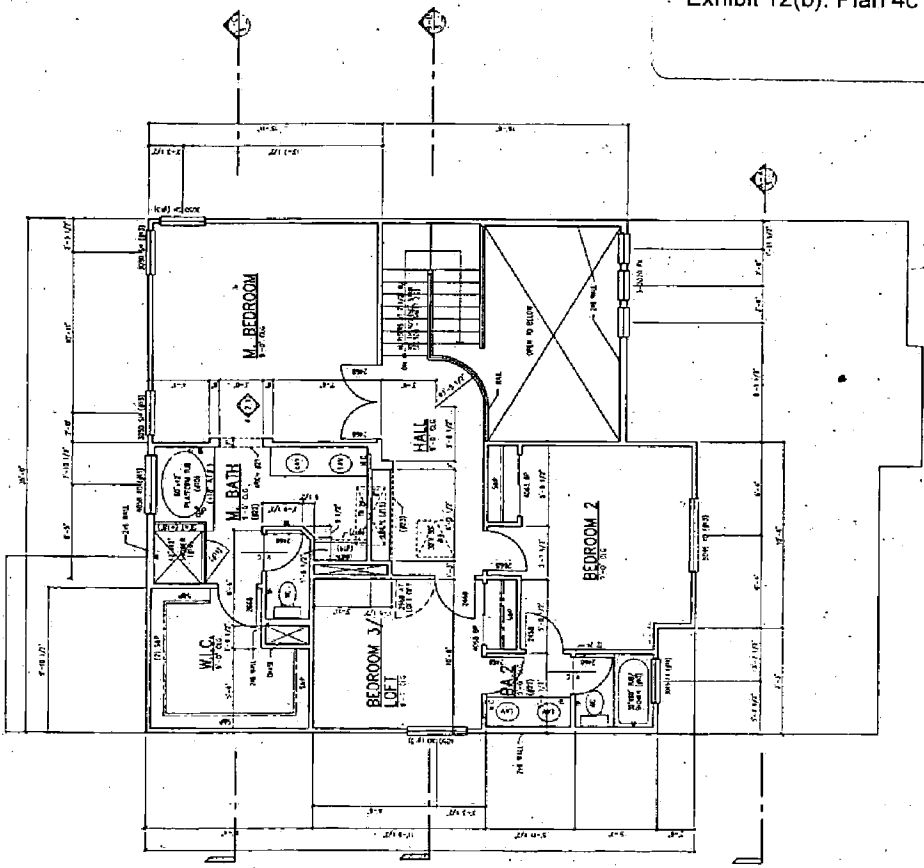
ELEVATION B & C

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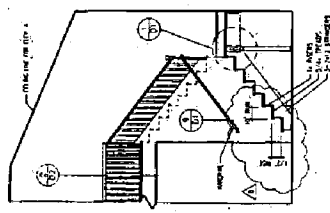
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISH FLOOR IS 1/2" ABOVE FINISH GRADE UNLESS OTHERWISE NOTED.
3. FINISH CEILING IS 8'-0" UNLESS OTHERWISE NOTED.
4. FINISH WALL IS 8'-0" UNLESS OTHERWISE NOTED.
5. FINISH SLOPE IS 1/8" PER FOOT UNLESS OTHERWISE NOTED.
6. FINISH CURB IS 4" ABOVE FINISH GRADE UNLESS OTHERWISE NOTED.
7. FINISH DRIVEWAY IS 1/2" ABOVE FINISH GRADE UNLESS OTHERWISE NOTED.
8. FINISH SIDEWALK IS 1/2" ABOVE FINISH GRADE UNLESS OTHERWISE NOTED.
9. FINISH STAIR IS 1/2" ABOVE FINISH GRADE UNLESS OTHERWISE NOTED.
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Exhibit 12(b); Plan 4c - 135 Floor Plans



ELEVATIONS B & C
 UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"

NOTE: VERIFY OVER
 BASIS OF ACTUAL DIMENSIONS
 IN THE FIELD. NOTIFY ARCHITECT
 IMMEDIATELY OF DISCREPANCIES.



ELEVATIONS B & C
 STAIR SECTION
 SCALE: 1/8" = 1'-0"

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September 5, 2000

Hand Delivered

Mr. Joe Schwartz
Production Coordinator
RENAISSANCE HOMES
2240 Douglas Boulevard, Suite 250
Roseville, CA 95661

**RE: Natomas Park Design Review Committee Approval- Northpointe Park
Village 9**

Dear Joe:

The Natomas Park Design Review Committee hereby approves your home plans for Northpointe Village 9. The Design Review approval of the home plans and all of the previous conditions for Parkway Plaza Village 2 shall apply in Northpointe Park Village 9.

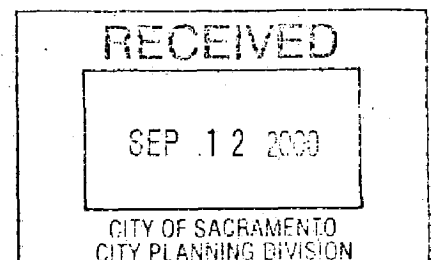
Please give me a call if you have any questions or comments.

Respectfully,

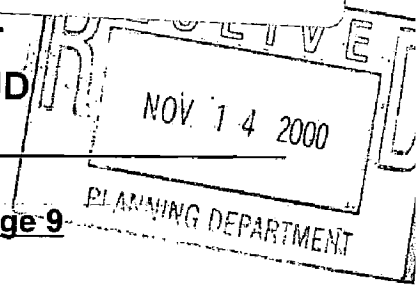
LENNAR COMMUNITIES

Don Barnett
Community Planning Manager

//approvallettenorthpointepark9



PLANNING DIRECTOR'S SPECIAL PERMIT FOR SINGLE FAMILY RESIDENTIAL IN A PUD LETTER OF AGREEMENT



P00-126: Lennar Renaissance - Northpointe Park Village 9

PROJECT NAME/FILE #: Lennar Renaissance - Northpointe Park Village 9 (58 Units total), P00-126

PROJECT LOCATION: The west side of the intersection of Crest Drive and Ainger Circle

ASSESSOR'S PARCEL NUMBER: 225-1060-017

ZONING: R-1B-PUD

APPLICANT'S NAME/ADDRESS: Lennar Renaissance (Joe Schwartz)
2240 Douglas Boulevard #250
Roseville, CA 95661
(916) 773-4083

IMP

I, JOE SCHWARTZ PRODUCTION MANAGER (please print and include title), agree to amend the project application, P00-126, to incorporate the Conditions of Approval into the requested Planning Director's Special Permit (PDSP).

I acknowledge that this project, P00-126, is subject to these PDSP Conditions of Approval. These PDSP Conditions of Approval will establish responsibilities for the monitoring of my project by various City Departments, and by other public agencies under the terms agreed upon in the PDSP Conditions of Approval. I understand that the PDSP Conditions of Approval for my project may require the expenditure of owner/developer funds where necessary to comply with the provisions of said PDSP Conditions of Approval.

Signature

PRODUCTION MANAGER

Title

11/10/00

Date

(916) 773-4083

2240 DOUGLAS BOULEVARD #250

ROSEVILLE, CA 95661



SACRAMENTO CITY PLANNING DIVISION

1231 I Street, Room 200; Sacramento, CA 95814

(916) 264-5381

Application taken by : Kimberly Kaufmann-Brisby, September 12, 2000

Project Location: The West Side of the Intersection of Crest Drive and Ainger Circle

Assessor's Parcel No. 225-1060-017

Owner: Lennar Renaissance, Inc

Address: 2240 Douglas Blvd, #250, Roseville, CA 95661

Applicant: Joe Schwartz, Lennar Renaissance, Inc

Address: 2240 Douglas Blvd, #250, Roseville, CA 95661

REQUESTED ENTITLEMENT(S): Planning Director's Special Permit for Single Family Residential in a P.U.D. approved on November 1, 2000.

ACTIONS TAKEN: Approved by planning director on November 1, 2000.

Sent to Applicant: December 18, 2000
Date

By: Will Weitzman
for Nel Penney, Secretary

EXPIRATION

TENTATIVE MAP: Failure to record a final map within two years of the date of approval or conditional approval of a tentative map shall terminate all proceedings.

SPECIAL PERMIT: A use for which a Special Permit is granted must be established within two years after such permit is issued. If such use is not so established, the Special Permit shall be deemed to have expired.

VARIANCE: Any variance involving an action which requires a building permit shall expire at the end of two years unless a building permit is obtained within the variance term.

NOTE: Violation of any of the foregoing conditions will constitute grounds for revocation of this permit. Building permits are required in the event any building construction is planned. The County Assessor is notified of actions taken on rezonings, special permits and variances.

Original to Applicant
Copies: File & Permit Book

P00-126